

The Urban League of Metropolitan St. Louis

**Requests Proposals for EXTERIOR SIGN for the Urban League –
Dellwood Senior Housing Project**

for

**Urban League Senior Housing Project – Dellwood Senior
St. Louis, Missouri**

Issue Date: October 19, 2023

Submission Date: November 3, 2023

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Part One: General Conditions

1.1 Overview

This Request for Proposal (RFP) is issued by the Urban League of St. Louis, Missouri for EXTERIOR SIGN for the Urban League- Dellwood Senior Housing Project. The RFP process consist of two parts:

- Any Site Meeting Coordination Needed – Week of Oct 23rd
- Submission of Proposal

1.2 Project Description

Urban League Senior Housing at Dellwood (the “Development” or the “Project”) will consist of a 44-unit mixed income, senior (62 +) apartment community located in Dellwood, Missouri (St. Louis County). The Project consists of a three-story brick and fiber cement building that will include 40 one- bedroom and 4 two-bedroom units. The Project site is located at 9947 W. Florissant Avenue in Dellwood, Missouri and located in the “West Florissant Corridor” of Dellwood. Amenities included in the design are a senior citizen community center, as well as in-unit laundry. Exterior amenities include free parking, enhanced security features and an on-site management company.

Part Two

Scope of Services: EXTERIOR SIGN on the Dellwood Senior Housing Project

2.1 Introduction

2.2 Detailed Scope of Services

Exterior Sign: Provide exterior sign based on the included design criteria provided by KAI Design ASI 008 dated 9/28/23. This package is to include the sign, structural supports required per the documents, as well as all building interior and exterior finish work impacted by this scope.

(see attached exhibits)

Part Three:

Selection Process

3.1 Selection Process

We strongly encourage participation by minority and women business at the local level.

The selection process consists of three parts:

- Site Meeting if needed
- Submission of Proposal
- Review and Selection of Subcontractor

As previously noted, proponents are responsible for all costs related to site visits and interview attendance.

Task	Due Date
Distribute RFP	10/19/23
RFP Candidates submit questions about RFP/Project	10/27/23
RFP Responses to questions if any	10/31/23
RFP Proposals Submitted from firms	11/03/23
Review/Screening of Proposals/Narrow to finalists	11/03-11/7
Site Visit if needed	10/23-10/27
Firm Select	11/8/23

The following contact information is provided for communication and submission of proposal:

Gardner Capital /Construction Management

Cory Pritchard

cpritchard@gardnercapital.com

3.2 Form of Submission

- Cover Letter
- Detailed Proposal
- Mobilization Date
- Projected Schedule
- Detailed bid – expected to be turnkey

3.3 Selection Criteria

Proposals will be evaluated according to the quality of the submission and the team's response to the particular needs of this project/

Selection Criteria	Percentage of Scale
Quality of Proposal	25%
Team Organization/Minority Participation	25%
Schedule	25%
Budget	25%
Total	100%

3.4 Questions and Communication

For clarification on any aspect of this RFP you are invited to direct inquiries, in writing only, by mail or facsimile or e-mail to:

Gardner Capital

8000 Maryland, Suite 1300

Clayton, MO 63105

cpritchard@gardnercapital.com

 **AIA** Document G710™ – 2017

Architect's Supplemental Instructions

PROJECT: *(name and address)*

19534.03 Urban League Senior Housing at
Dellwood
9947 West Florissant Ave.
St. Louis, MO 63135

CONTRACT INFORMATION:

Contract For: General Construction

Date: October 01, 2021

ASI INFORMATION:

ASI Number: 008

Date: September 28, 2023

OWNER: *(name and address)*

Urban League Senior Housing, LLC
1408 North Kingshighway Blvd.
Saint Louis, Missouri 63113

ARCHITECT: *(name and address)*

KAI/Alliance, LC dba KAI Design
2060 Craigshire Road
St. Louis, MO 63146

CONTRACTOR: *(name and address)*

KAI Build
2060 Craigshire Road
St. Louis, MO 63146

The Contractor shall carry out the Work in accordance with the following supplemental instructions without change in Contract Sum or Contract Time. Proceeding with the Work in accordance with these instructions indicates your acknowledgment that there will be no change in the Contract Sum or Contract Time.

(Insert a detailed description of the Architect's supplemental instructions and, if applicable, attach or reference specific exhibits.)

As described in attached narrative and drawings

ISSUED BY THE ARCHITECT:

KAI Design

ARCHITECT *(Firm name)*



SIGNATURE

Jole Kerschen, AIA, CSI

Sr. Project Architect

PRINTED NAME AND TITLE

09/28/2023

DATE



2060 Craigshire Road
St. Louis, MO 63146

DATE: 09/28/2023 NO.: 008

ARCHITECT’S SUPPLEMENTAL INSTRUCTIONS (ASI)

PROJECT: Urban League Senior Housing
at Dellwood

PROJECT NO.: 10-19534.03

TO: KAI Build

RE: Exterior Sign
Structural and Architectural

GENERAL:

This ASI is issued to define the scope of revision in drawings and/or specifications for a contemplated change. The work required by these revisions shall be in accordance with the general requirements of the original contract documents. This ASI is not a change order and work shall not be started without written authorization to proceed by Owner. The Contractor is requested to submit an itemized proposal for the revised work and identify the effect this change will have on construction cost and schedule if any.

DESCRIPTION OF REVISION:

General Information

Title	Description
N/A	N/A

Project Manual Updates

Section #	Description
N/A	N/A

List of Drawing Revisions

G-000 – COVER

- Updated rendering with new sign.

G-001 – DRAWING INDEX, GENERAL NOTES, SYMBOLS, AND ABBREVIATION

- Added Sheet A-553 – VERTICAL SECTION DETAILS – EXTERIOR SIGN.

S-102 – STRUCTURAL SECOND FLOOR FRAMING PLAN

- HDD 4 x 4 note added
- Detail reference 27/S-402 added.

S-103 – STRUCTURAL THIRD FLOOR FRAMING PLAN

- HDD 4 x 4 note added
- Detail reference 27/S-402 added.



S-201 – STRUCTURAL ROOF FRAMING PLAN

1. HDD 4 x 4 note added
2. Detail reference 27/S-402 added.

S-402 – STRUCTURAL FRAMING SECTIONS

1. Detail 27/S-402 added.

A-101 – OVERALL FIRST AND SECOND FLOOR PLAN

1. Second Floor Plan - Added sign to East elevation.

A-102 – OVERALL THIRD FLOOR PLAN

1. Third Floor Plan - Added sign to East elevation.

A-111 – OVERALL FIRST AND SECOND FLOOR REFLECTED CEILING PLAN

1. Second Floor Plan - Added sign to East elevation.

A-112 – OVERALL THIRD FLOOR REFLECTED CEILING PLAN

1. Third Floor Plan - Added sign to East elevation.

A-151 – OVERALL ROOF PLAN

1. Overall Roof Plan - Added sign to East elevation.

A-201 – BUILDING ELEVATIONS

1. North Elevation - Added sign to East elevation.
2. East Elevation – Added sign.

A-301 – BUILDING SECTIONS

1. 3 Overall Building Section E/W - Added sign to east face of building.
2. 4 Overall Building Section E/W - Added sign to east face of building.

A-553 – VERTICAL SECTION DETAILS – EXTERIOR SIGN

1. New sheet added to the set.

ATTACHMENTS: Drawings

ISSUED BY: Joel Kerschen– KAI Design

1. G-000 – COVER
2. G-001 – DRAWING INDEX, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
3. S-102 – STRUCTURAL SECOND FLOOR FRAMING PLAN
4. S-103 – STRUCTURAL THIRD FLOOR FRAMING PLAN
5. S-201 – STRUCTURAL ROOF FRAMING PLAN
6. S-402 – STRUCTURAL FRAMING SECTIONS
7. A-101 – OVERALL FIRST AND SECOND FLOOR PLAN
8. A-102 – OVERALL THIRD FLOOR PLAN
9. A-111 – OVERALL FIRST AND SECOND FLOOR REFLECTED CEILING PLAN
10. A-112 – OVERALL THIRD FLOOR REFLECTED CEILING PLAN
11. A-151 – OVERALL ROOF PLAN
12. A-201 – BUILDING ELEVATIONS
13. A-301 – BUILDING SECTIONS
14. A-553 – VERTICAL SECTION DETAILS – EXTERIOR SIGN



URBAN LEAGUE SENIOR HOUSING, LLC

URBAN LEAGUE SENIOR HOUSING AT DELLWOOD

9947 W Florissant Ave, St. Louis, MO 63135

MHDC #19-090 MT



URBAN LEAGUE SENIOR HOUSING, LLC
URBAN LEAGUE SENIOR HOUSING AT DELLWOOD
 9947 W Florissant Ave, St. Louis, MO 63135
 BID AND PERMIT SET



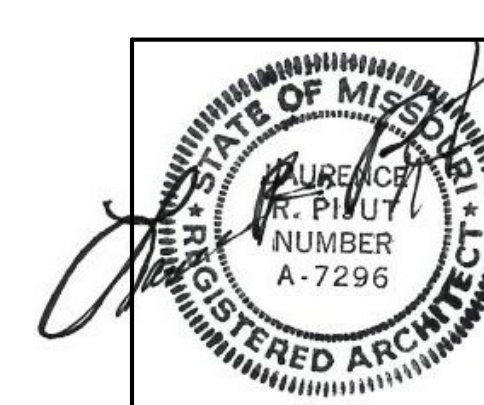
ISSUE	MARK	DATE	DESCRIPTION
1		10/15/2021	REV 01
10		09/28/2023	ASI 08

ISSUE DATE: OCTOBER 1, 2021
 PROJECT NO: 10-19534.03
 MHDC PROJECT NO: #19-090 MT
 DRAWN BY: AJK
 REVIEWED BY: WA

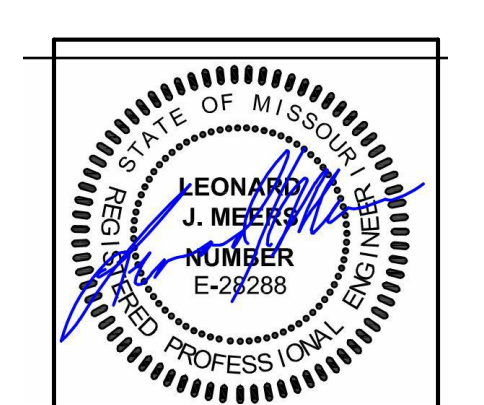
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 SHEET TITLE: COVER

SHEET NO: **G-000**

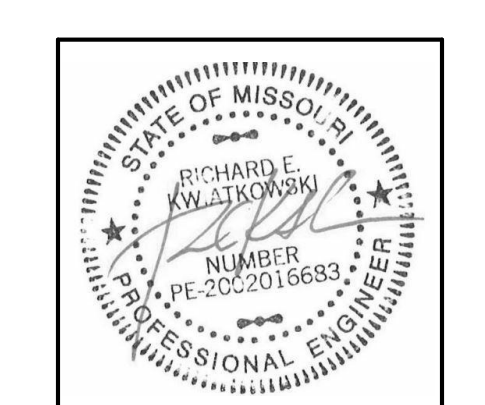
ARCHITECTURAL
 KAI Design
 2060 Craigshire Rd.
 St. Louis, MO 63146
 (314) 241-8188



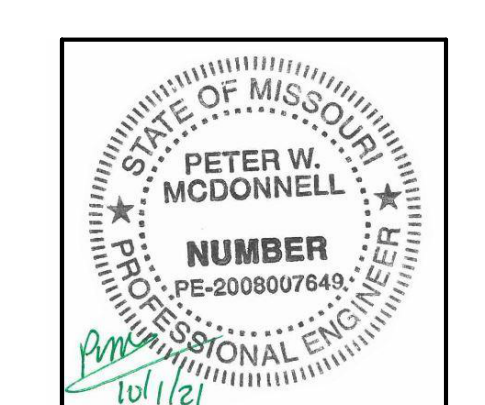
CIVIL ENGINEERING
 Grimes Consulting, Inc.
 12300 Old Tesson Road.
 St. Louis, MO 63128
 (314) 849-6100



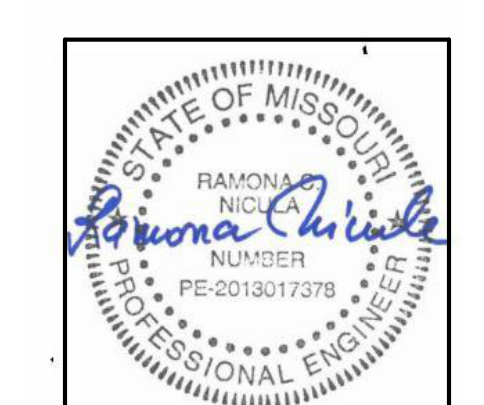
STRUCTURAL ENGINEERING
 SSC Engineering, Inc.
 18207 Edison Avenue
 Chesterfield, MO 63005
 (636) 530-7770



MECHANICAL, PLUMBING, & FIRE PROTECTION
 KAI Engineering, LLC
 2060 Craigshire Rd.
 St. Louis, MO 63146
 (314) 241 - 8188



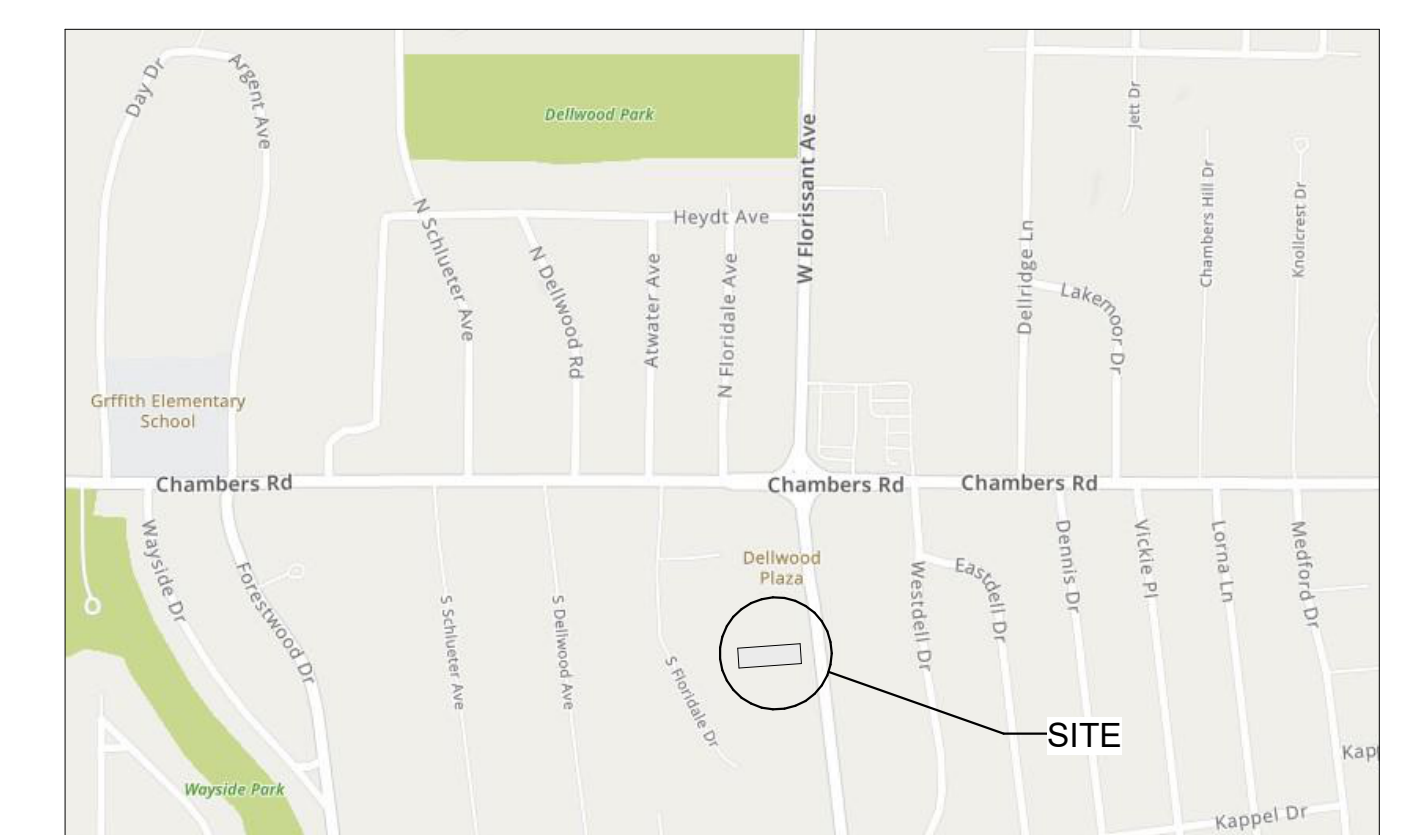
ELECTRICAL
 KAI Engineering, LLC
 2060 Craigshire Rd.
 St. Louis, MO 63146
 (314) 241 - 8188



MHDC SIGNATURE BLOCK #19-090 MT

	10-12-2021	DATE
KAI ALLIANCE, LC (dba KAI DESIGN) 2060 CRAIGSHIRE RD. ST. LOUIS, MO 63146 (314) 241-8188		
	10/28/21	DATE
URBAN LEAGUE SENIOR HOUSING, LLC 1408 N. KINGSHIGHWAY BOULEVARD SAINT LOUIS, MO 63113		
	10-12-2021	DATE
KAI BUILD, LLC 2060 CRAIGSHIRE RD. ST. LOUIS, MO 63146 (314) 241-8188		
ARGONAUT INSURANCE COMPANY P.O. BOX 469011 SAN ANTONIO, TX 78246		
MISSOURI HOUSING DEVELOPMENT COMMISSION 820 MAIN, SUITE 1400 KANSAS CITY, MO 64105		

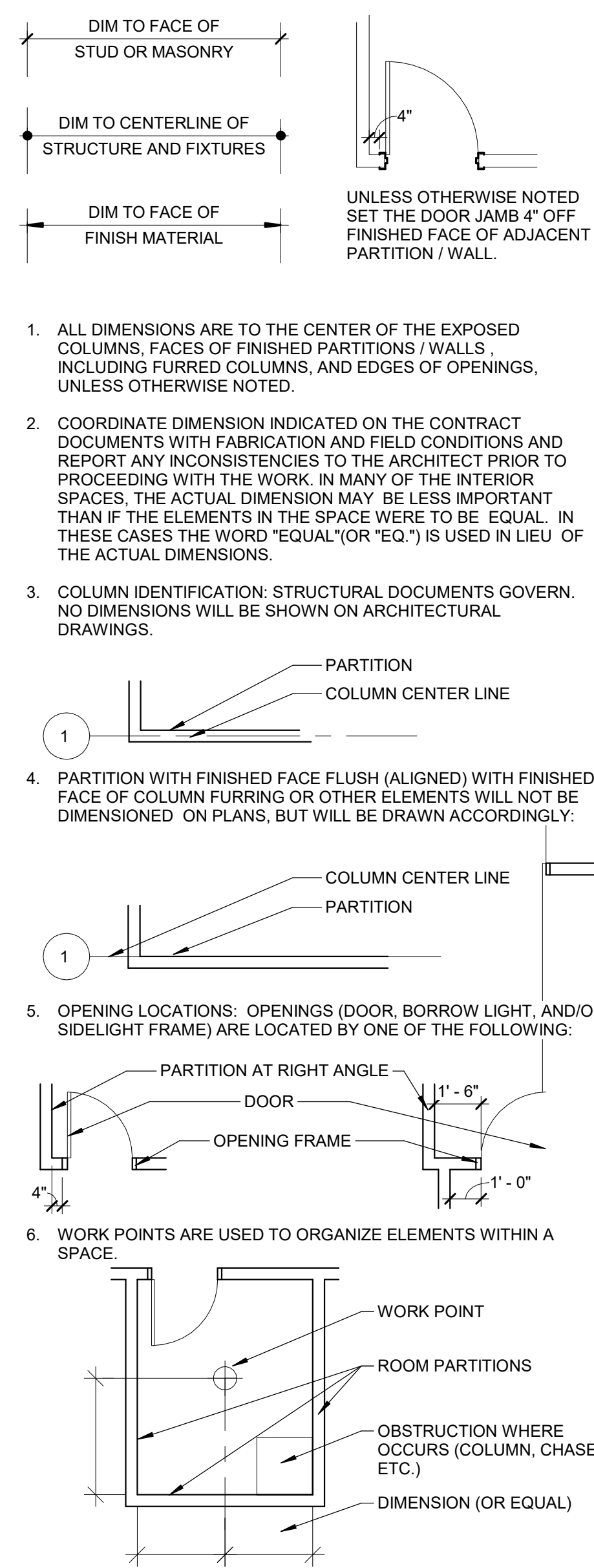
LOCATION MAP



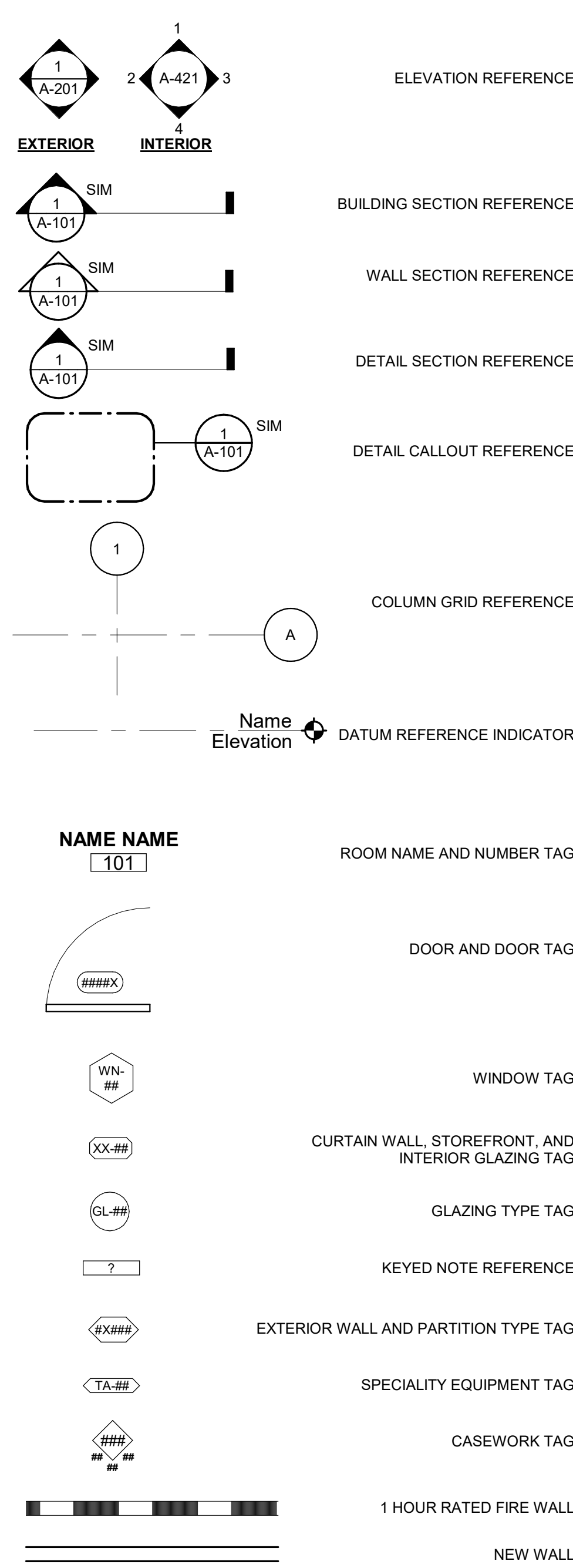
STANDARD ABBREVIATIONS

BO	BOTTOM OF
DEMO	DEMOLITION
DIA	DIAMETER
EQ	EQUAL
MAX	MAXIMUM
MIN	MINIMUM
MO	MASONRY OPENING
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NGM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OH	OPPOSITE HAND
±	PLUS OR MINUS
RO	ROUGH OPENING
SF	SQUARE FOOT
SIM	SIMILAR
TO	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

LAYOUT DIMENSION NOTES



SYMBOLOLOGY LEGEND



GENERAL NOTES

1. THE CONSTRUCTION DOCUMENTS HAVE BEEN CAREFULLY PREPARED BUT MAY NOT DEPICT EVERY CONDITION TO BE ENCOUNTERED. IT IS THEREFORE THE GENERAL CONTRACTOR & SUBCONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL CONDITIONS OF THE AFFECTED WORK PRIOR TO SUBMITTING A BID. IF CONDITIONS DIFFER OR ADDITIONAL WORK IS REQUIRED BEYOND THAT STATED IN THE CONSTRUCTION DOCUMENTS IT IS THE CONTRACTORS RESPONSIBILITY TO BRING SUCH MATTERS TO THE ATTENTION OF THE ARCHITECT IN A REASONABLE TIME PERIOD (E.G. FIVE DAYS) PRIOR TO BID SUBMISSION OR OTHERWISE INCLUDE SUCH INSTANCES IN THEIR BID SUM OR QUALIFY IN THE BID SUBMITTAL.
2. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. IF A REQUIRED DIMENSION IS NOT INDICATED, CONTACT THE ARCHITECT FOR DETERMINATION.
3. ALL DIMENSIONS ARE TO FACE OF WOOD STUDS, CMU, AND/OR CONCRETE UNLESS NOTED OTHERWISE.
4. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES.
5. THE CONTRACTOR SHALL CONTACT THE RESPECTIVE UTILITY COMPANIES AT THE TIME OF CONSTRUCTION TO VERIFY EXACT LOCATIONS, INFORMATION, AND/OR CHANGES OR ADDITIONS TO SITE SERVICE UTILITIES.
6. REFERENCE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL & ELECTRICAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.
7. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

DRAWING INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G-000	COVER
G-001	DRAWING INDEX, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS
G-100	CODE AND LIFE SAFETY ANALYSIS
G-101	OVERALL FIRST, SECOND, AND THIRD FLOOR LIFE SAFETY PLAN
CIVIL	
C1.0	TITLE SHEET
C2.0	GENERAL NOTES
C3.0	EXISTING SITE & DEMOLITION PLAN
C4.0	SITE PLAN
C4.1	GEOMETRICS PLAN
C5.0	GRADING PLAN
C6.0	SWPPP
C6.1	SWPPP DETAILS
C6.2	SWPPP DETAILS
C7.0	UTILITY PLAN
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C9.0	PROFILES
C10.0	EXISTING DRAINAGE AREA MAP
C10.1	PROPOSED DRAINAGE AREA MAP
C10.2	BMP DRAINAGE AREA MAP
C10.3	SANITARY DRAINAGE AREA MAP
C11.0	SPECIFICATIONS
C11.1	SPECIFICATIONS
C11.2	SPECIFICATIONS
C11.3	SPECIFICATIONS
LANDSCAPE	
L-1	PLANTING PLAN, SPECIFICATIONS, CALCULATIONS, AND PLANT SCHEDULE
L-2	BIO-RETENTION PLANTING PLAN, PLANTING DETAILS, AND BIO NOTES
STRUCTURAL	
S_001	STRUCTURAL GENERAL NOTES
S_002	STRUCTURAL GENERAL NOTES
S_003	STRUCTURAL TYPICAL CONCRETE & MASONRY DETAILS
S_004	STRUCTURAL TYPICAL WOOD FRAMING DETAILS
S_005	STRUCTURAL TYPICAL WOOD FRAMING DETAILS
S_006	STRUCTURAL SCHEDULES
S_101	STRUCTURAL FOUNDATION PLAN
S_102	STRUCTURAL SECOND FLOOR FRAMING PLAN
S_103	STRUCTURAL THIRD FLOOR FRAMING PLAN
S_201	STRUCTURAL ROOF FRAMING PLAN
S_301	STRUCTURAL FOUNDATION SECTIONS
S_401	STRUCTURAL FRAMING SECTIONS
S_402	STRUCTURAL FRAMING SECTIONS
S_501	STRUCTURAL ROOF FRAMING SECTIONS
ARCHITECTURAL	
AS102	SITE DETAILS
A-101	OVERALL FIRST FLOOR AND SECOND FLOOR PLAN
A-102	OVERALL THIRD FLOOR PLAN
A-111	OVERALL FIRST AND SECOND FLOOR REFLECTED CEILING PLAN
A-112	OVERALL THIRD FLOOR REFLECTED CEILING PLAN
A-120	INTERIOR MATERIAL LEGEND AND DETAILS
A-151	OVERALL ROOF PLAN
A-201	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-310	WALL SECTIONS
A-400	MOUNTING HEIGHTS AND ACCESSIBILITY INFORMATION
A-401	ENLARGED FLOOR PLANS
A-411	ENLARGED UNIT PLANS - 1 BEDROOM
A-412	ENLARGED UNIT PLANS - 2 BEDROOM
A-501	EXTERIOR WALL TYPES
A-511	PARTITION TYPES
A-514	FIRE RATED WALL PENETRATION DETAILS
A-525	PLAN DETAILS
A-531	CEILING DETAILS
A-551	VERTICAL SECTION DETAILS
A-552	VERTICAL SECTION DETAILS
A-553	VERTICAL SECTION DETAILS - EXTERIOR SIGN
A-601	FLOOR SCHEDULE AND DETAILS
A-621	WINDOW & STOREFRONT TYPES AND DETAILS
A-661	CASEWORK TYPES AND DETAILS
A-701	VERTICAL CIRCULATION PLANS
A-702	VERTICAL CIRCULATION - ELEVATOR
A-723	VERTICAL CIRCULATION DETAILS
A-724	VERTICAL CIRCULATION DETAILS
A-725	VERTICAL CIRCULATION DETAILS
A-800	SIGNAGE SCHEDULE AND DETAILS
PLUMBING	
FP-111	FIRST AND SECOND FLOOR PLAN - FIRE PROTECTION
FP-112	THIRD FLOOR PLAN - FIRE PROTECTION
P-201	FLOOR PLAN - PLUMBING UNDERFLOOR
P-301	OVERALL FIRST AND SECOND FLOOR PLAN - PLUMBING
P-302	THIRD FLOOR PLAN - PLUMBING
P-401	ENLARGED PLANS - PLUMBING
P-501	PLUMBING SCHEDULES
P-601	PLUMBING DETAILS
P-701	PLUMBING DETAILS
PPF-001	PLUMBING SYMBOL LEGEND AND GENERAL NOTES
PPF-002	PLUMBING SEISMIC TABLE
PPF-003	PLUMBING SPECIFICATIONS
MECHANICAL	
M-001	MECHANICAL SYMBOL LEGEND AND GENERAL NOTES
M-002	HVAC SPECIFICATIONS
M-201	OVERALL FIRST FLOOR AND SECOND FLOOR PLAN - MECHANICAL
M-202	OVERALL THIRD FLOOR PLAN - MECHANICAL
M-501	MECHANICAL DETAILS
M-601	MECHANICAL SCHEDULES
ELECTRICAL	
E-000	ELECTRICAL SYMBOLS AND ABBREVIATIONS
E-001	ELECTRICAL SPECIFICATIONS
E-002	ELECTRICAL DETAILS AND SCHEDULES
E-003	ELECTRICAL ONE-LINE DIAGRAM
E-100	SITE LIGHTING PLAN
E-101	FIRST AND SECOND FLOOR PLAN - LIGHTING
E-102	THIRD FLOOR PLAN - LIGHTING
E-111	FIRST AND SECOND FLOOR PLAN - POWER
E-112	THIRD FLOOR PLAN - POWER



URBAN LEAGUE SENIOR HOUSING, LLC
URBAN LEAGUE SENIOR HOUSING AT DELLWOOD
 9947 W Florissant Ave., St. Louis, MO 63135
 BID AND PERMIT SET

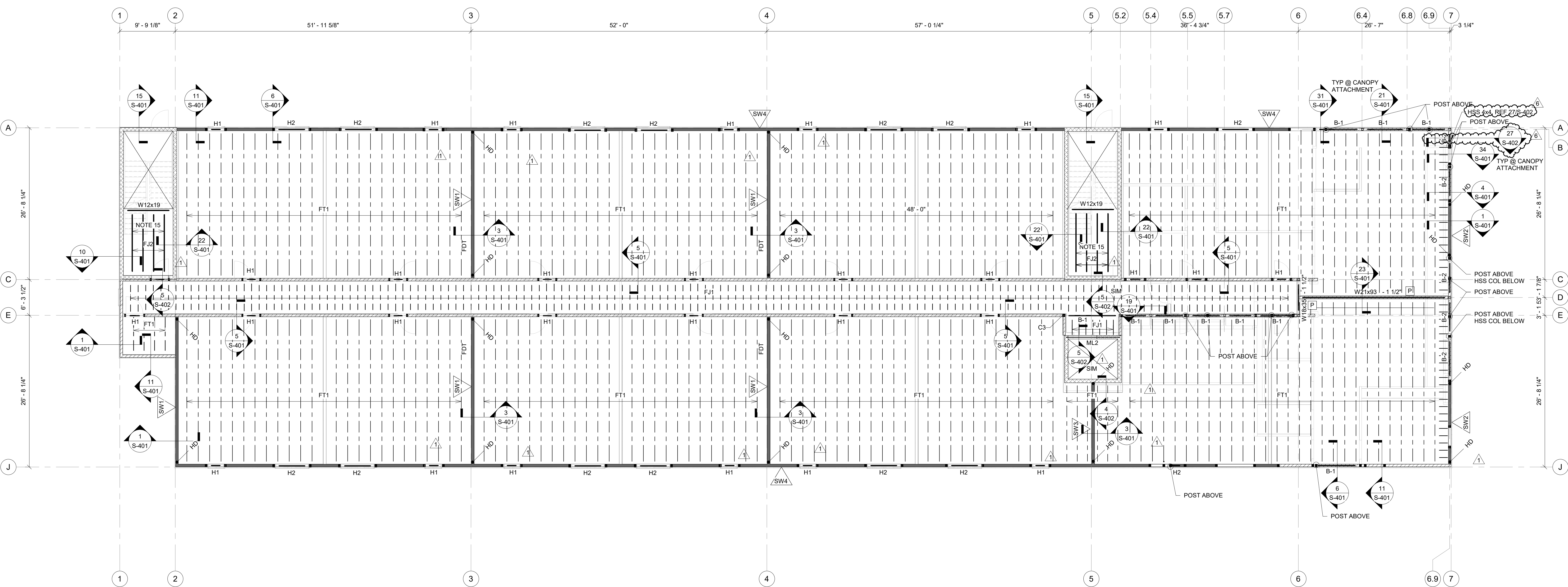


ISSUE	MARK	DATE	DESCRIPTION
1		10/19/2021	REV 01
10		09/28/2023	ASI 08

ISSUE DATE: **OCTOBER 1, 2021**
 PROJECT NO: **10-19534.03**
 MHDC PROJECT NO: **#19-090 MT**
 DRAWN BY: **AJK**
 REVIEWED BY: **WA**

ORIGINAL SHEET SIZE IS 30" x 42"
 SHEET TITLE: **DRAWING INDEX, GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS**
 SHEET NO: **G-001**

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STRUCTURAL SECOND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"
NORTH

LEVEL 2 FLOOR FRAMING PLAN NOTES

- NOT TO SCALE
- FLOOR CONSTRUCTION: 3/4" GYPCRETE OVER 3/4" T&G SHEATHING (APA RATED, EXPOSURE 1, 48/24 GLUED & NAILED W/ 8d NAILS AT THE FOLLOWING SPACING:
FLOOR EDGES: 6" O.C.
PANEL EDGES: 6" O.C.
INTERMEDIATE SUPPORTS: 12" O.C.
 - T/PLYWOOD ELEVATION = 111'-1 7/8".
 - SPACE FRAMING TO AVOID CHASES. ADDITIONAL FRAMING MAY BE REQUIRED. GENERAL CONTRACTOR COORDINATE WITH MECHANICAL.
 - SHEAR WALLS SITTING ON 1st FLOOR FRAMING PLANS. HOLD DOWN SHOWN TIE THE 1st FLOOR WALL TO THE FIRST FLOOR FRAMING.
 - SEE SHEETS S-001 - S-006 FOR TYPICAL DETAILS & GENERAL NOTES.
 - DENOTES LOCATION OF BEARING WALLS. SEE SCHEDULE ON SHEET S-006.
 - DENOTES LOCATION OF SHEAR WALLS. SEE SCHEDULE SHEET S-006.
 - ⊠ DENOTES LOCATION OF CMU WALLS.
 - ALL EXTERIOR WALLS SHALL BE SHEATHED PER SHEAR WALL NOTES ON S-006.
 - ALL TRUSS HANGERS BY TRUSS MFG. ANY LOCATIONS @ STEEL BEAM. TRUSS HANGERS SHALL NOT REQUIRE STEEL BEAM PAD OUT BLOCKING.
 - ADD CHASE IN FLOOR TRUSS FOR MECHANICAL WHEN MECHANICAL RUNS THROUGH STRUCTURE. TYP.
 - REFERENCE 17S-004 FOR MECHANICAL THRU EXTERIOR WALL.
 - INDICATES BUILT UP STUD PACK. REFER TO HEADER SCHEDULE FOR BUILT UP POST. U.N.O. ON PLAN. POST SHALL MATCH LEVEL ABOVE U.N.O. AT A MINIMUM (2) 2x POST REQUIRED. MATCH WALL WIDTH FOR WIDTH OF POST.
 - BEAMS WITH A □ DESIGNATE PRIMARY BEAMS. ALL COLUMNS THAT CARRY A PRIMARY BEAM WILL ALSO BE CONSIDERED A PART OF THE PRIMARY STRUCTURE. REFERENCE ARCH FOR WRAP DETAILS.
 - PROVIDE 2" NORMAL WEIGHT CONCRETE ON 9/16" 26 GA NON COMPOSITE DECK (2" TOTAL THICKNESS) REINFORCE W/ 6x6 - W2 9xW2.9 WWF @ CENTER OF SLAB.

KAI
2060 Craigshire Road
Saint Louis, MO 63146
T. 314.241.8188
F. 314.241.0125
www.kai-db.com
Missouri State Certificate of Authority #1234567

SSC Engineering
18207 Edison Avenue
Chesterfield, Missouri 63005
Phone: 636.530.7770
Fax: 636.530.7877
Missouri Certificate of Authority #
MO 001244

A PROJECT FOR: URBAN LEAGUE SENIOR HOUSING, LLC
DELLWOOD
9947 W Florissant Ave, St. Louis, MO 63135
100% CONSTRUCTION DOCUMENTS

STATE OF MISSOURI
RICHARD E. KWATKOWSKI
Professional Engineer
NO LIC# PE-000216683
EXP: 12/31/22

MARK	DATE	DESCRIPTION
1	10/15/2021	REV 1
6	09-28-23	ASI 08

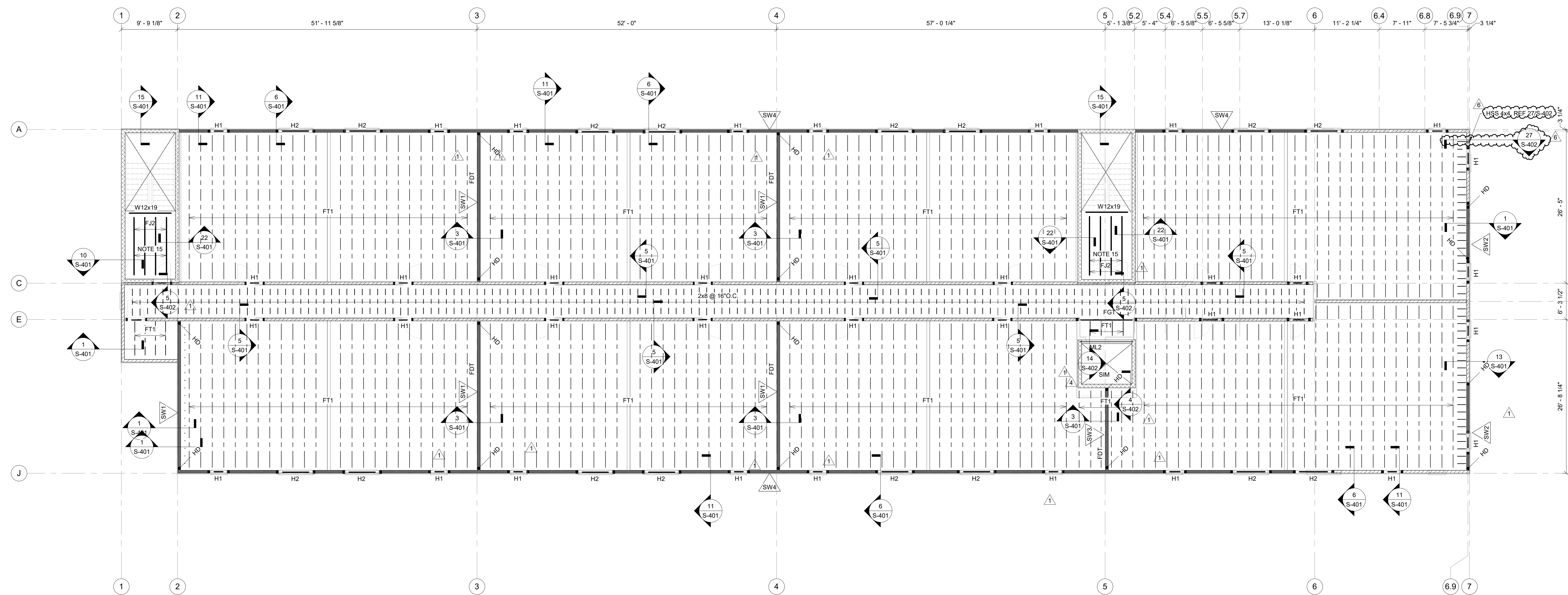
ISSUE DATE: **OCTOBER 1, 2021**
PROJECT NO: 2021124

ORIGINAL SHEET SIZE IS 30" x 42"
SHEET TITLE:
STRUCTURAL SECOND FLOOR FRAMING PLAN

SHEET NO:
S-102
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SSC JOB# 2021124

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STRUCTURAL THIRD FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"
NORTH

LEVEL 3 FLOOR FRAMING PLAN NOTES
NOT TO SCALE

- FLOOR CONSTRUCTION: 3/4" GYPCRETE OVER 3/4" T&G SHEATHING (APA RATED, EXPOSURE 1, 48/24 GLUED & NAILED W/ 8d NAILS AT THE FOLLOWING SPACING:
FLOOR EDGES: 6" O.C.
PANEL EDGES: 6" O.C.
INTERMEDIATE SUPPORTS: 12" O.C.
- T/PLYWOOD ELEVATION = 122'-3 3/4".
- SPACE FRAMING TO AVOID CHASES. ADDITIONAL FRAMING MAY BE REQUIRED, GENERAL CONTRACTOR COORDINATE WITH MECHANICAL.
- SHEAR WALLS SITTING ON 1st FLOOR FRAMING PLANS. HOLD DOWN SHOWN TIE THE 1st FLOOR WALL TO THE FIRST FLOOR FRAMING.
- SEE SHEETS S-001 - S-006 FOR TYPICAL DETAILS & GENERAL NOTES.
- ▭ DENOTES LOCATION OF BEARING WALLS. SEE SCHEDULE ON SHEET S-006.
- ▨ DENOTES LOCATION OF SHEAR WALLS. SEE SCHEDULE SHEET S-006.
- ▧ DENOTES LOCATION OF CMU WALLS.
- ALL EXTERIOR WALLS SHALL BE SHEATHED PER SHEAR WALL NOTES ON S006.
- ALL TRUSS HANGERS BY TRUSS MFG. ANY LOCATIONS @ STEEL BEAM, TRUSS HANGERS SHALL NOT REQUIRE STEEL BEAM PAD OUT BLOCKING.
- ADD CHASE IN FLOOR TRUSS FOR MECHANICAL WHEN MECHANICAL RUNS THROUGH STRUCTURE. TYP.
- REFERENCE 17/S-004 FOR MECHANICAL THRU EXTERIOR WALL.
- ▣ INDICATES BUILT UP STUD PACK. REFER TO HEADER SCHEDULE FOR BUILT UP POST. U.N.O. ON PLAN. POST SHALL MATCH LEVEL ABOVE U.N.O. AT A MINIMUM (2) 2x POST REQUIRED. MATCH WALL WIDTH FOR WIDTH OF POST.
- BEAMS WITH A ▭ DESIGNATE PRIMARY BEAMS. ALL COLUMNS THAT CARRY A PRIMARY BEAM WILL ALSO BE CONSIDERED A PART OF THE PRIMARY STRUCTURE. REFERENCE ARCH FOR WRAP DETAILS.
- PROVIDE 2" NORMAL WEIGHT CONCRETE ON 9/16" 26 GA NON COMPOSITE DECK (2" TOTAL THICKNESS) REINFORCE W/ 6x6 - W2.9xW2.9 WWF @ CENTER OF SLAB.

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A PROJECT FOR: URBAN LEAGUE SENIOR HOUSING, LLC
URBAN LEAGUE SENIOR HOUSING AT DELLWOOD
9947 W Florissant Ave, St. Louis, MO 63135
100% CONSTRUCTION DOCUMENTS

STATE OF MISSOURI
RICHARD E. KWATKOWSKI
Professional Engineer
NO LIC# PE-202016683
EXP: 12/31/22

MARK	DATE	DESCRIPTION
1	10/19/2021	REV 1
4	04-12-22	ASI 03
6	09-28-23	ASI 08

ISSUE DATE: **OCTOBER 1, 2021**
PROJECT NO: 2021124

ORIGINAL SHEET SIZE IS 30" x 42"
SHEET TITLE: **STRUCTURAL THIRD FLOOR FRAMING PLAN**

SHEET NO: **S-103**
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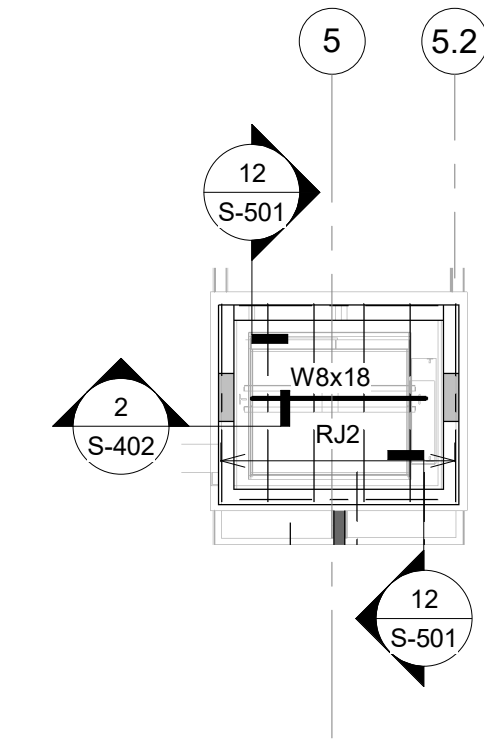
SSC JOB# 2021124

10/2/2023 10:27:36 AM C:\Users\dahm\Documents\Revit Local Files\2021124-Urban_League_Senior_Housing_at_Dellwood_STRUC_R00_dhahm\FNCF.rvt

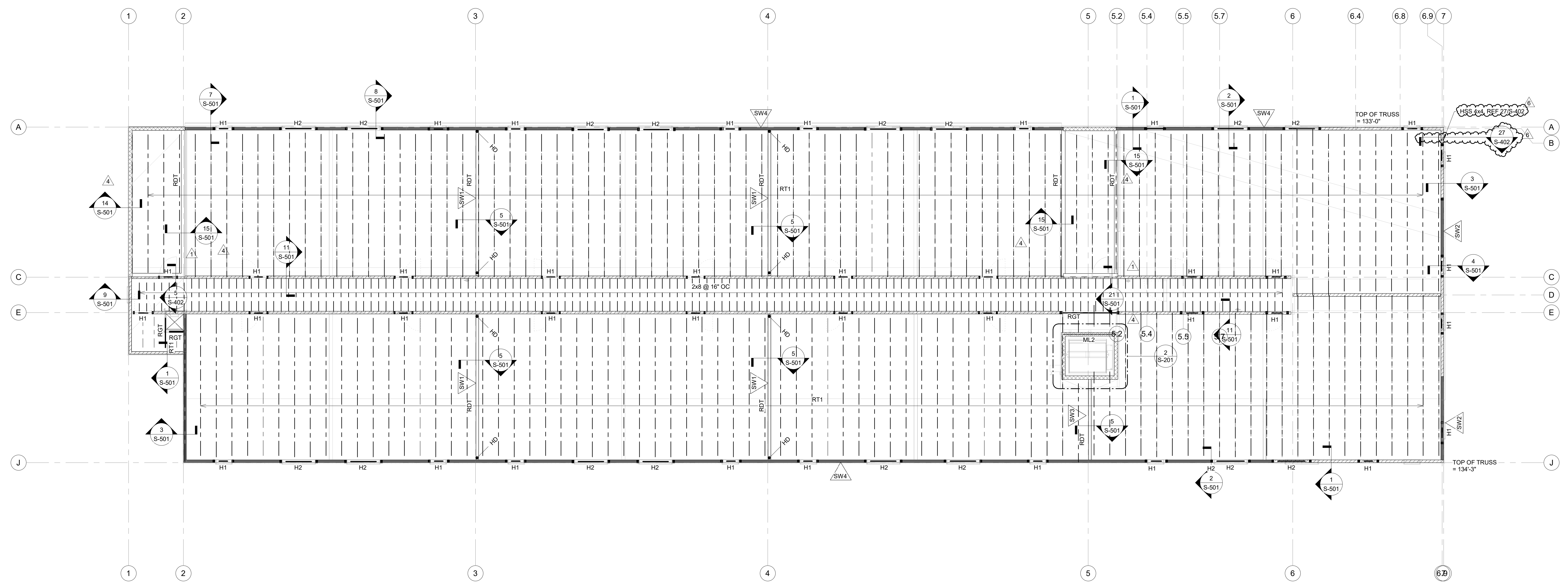
ROOF FRAMING PLAN NOTES

- NOT TO SCALE
- K&J: CURS TRUCTION: 1/2" PLYWOOD (EXPOSURE 1, 4 PLY, 32/16 APA) SHEATHING OVER 2x WOOD TRUSSES @ 24" O.C. NAIL PLYWOOD TO TRUSSES WITH 8d NAILS AT 6" O.C. AT PLYWOOD EDGES AND BLOCKING AND AT 12" O.C. AT INTERMEDIATE SUPPORTS.
 - PLYWOOD DIAPHRAGM TO CONTINUE UNDER VALLEY TRUSS OVER FRAMING MEMBERS.
 - TRUSS BEARING ELEVATION = 131'-4 7/8" Δ
 - TRUSS FABRICATOR TO DESIGN AND FURNISH CONNECTORS FOR HIP GIRDERS FRAMING INTO GIRDER TRUSSES.
 - TRUSS MANUFACTURER SHALL DESIGN TRUSSES AS DESCRIBED IN THE GENERAL NOTES, PLUS ADDITIONAL CONCENTRATED LOADS SHOWN ON PLAN.
 - DENOTES LOCATION OF STRAP "X-BRACING" SEE DETAILS ON SHEET S-x.xx.
 - FOR TYPICAL DETAILS AND GENERAL NOTES SEE SHEET S-100.

- HATCHED AREA IS MEANT TO INDICATE AN ADDITIONAL LOAD AT ANY LOCATION WITHIN THE SHADED AREA. HOWEVER THERE ARE TWO SEPARATE CONDITIONS. CONDITION 1 IS WHERE A TRUSS IS PERPENDICULAR TO THE SHADED AREA. CONDITION 2 IS WHERE A TRUSS RUNS PARALLEL WITH THE SHADED AREA.
- CONDITION 1: A SINGLE TRUSS THAT RUNS PERPENDICULAR TO THE HATCHED AREA WOULD NEED TO SUPPORT A SINGLE 500 POUND POINT LOAD AT ANY LOCATION WITHIN THE HATCHED SECTION OF THE TRUSS.
- CONDITION 2: A SINGLE TRUSS THAT RUNS PARALLEL TO THE HATCHED AREA WOULD NEED TO SUPPORT A 50 POUND PER LINEAR FOOT LOAD ALONG THE LENGTH OF THE TRUSS THAT FALLS WITHIN THE HATCHED AREA FOR GLOBAL STABILITY. HOWEVER THE TRUSS CHORD SHALL STILL HAVE THE LOCAL SHEAR CAPACITY TO SUPPORT A 500 LB POINT LOAD AT A SINGLE POINT ALONG THE LENGTH OF THE TRUSS THAT FALLS WITHIN THE HATCHED AREA.



2 PARTIAL PLAN @ ELEVATOR PENTHOUSE FRAMING
SCALE: 1/8" = 1'-0"



STRUCTURAL ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"
NORTH

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Professional Engineer
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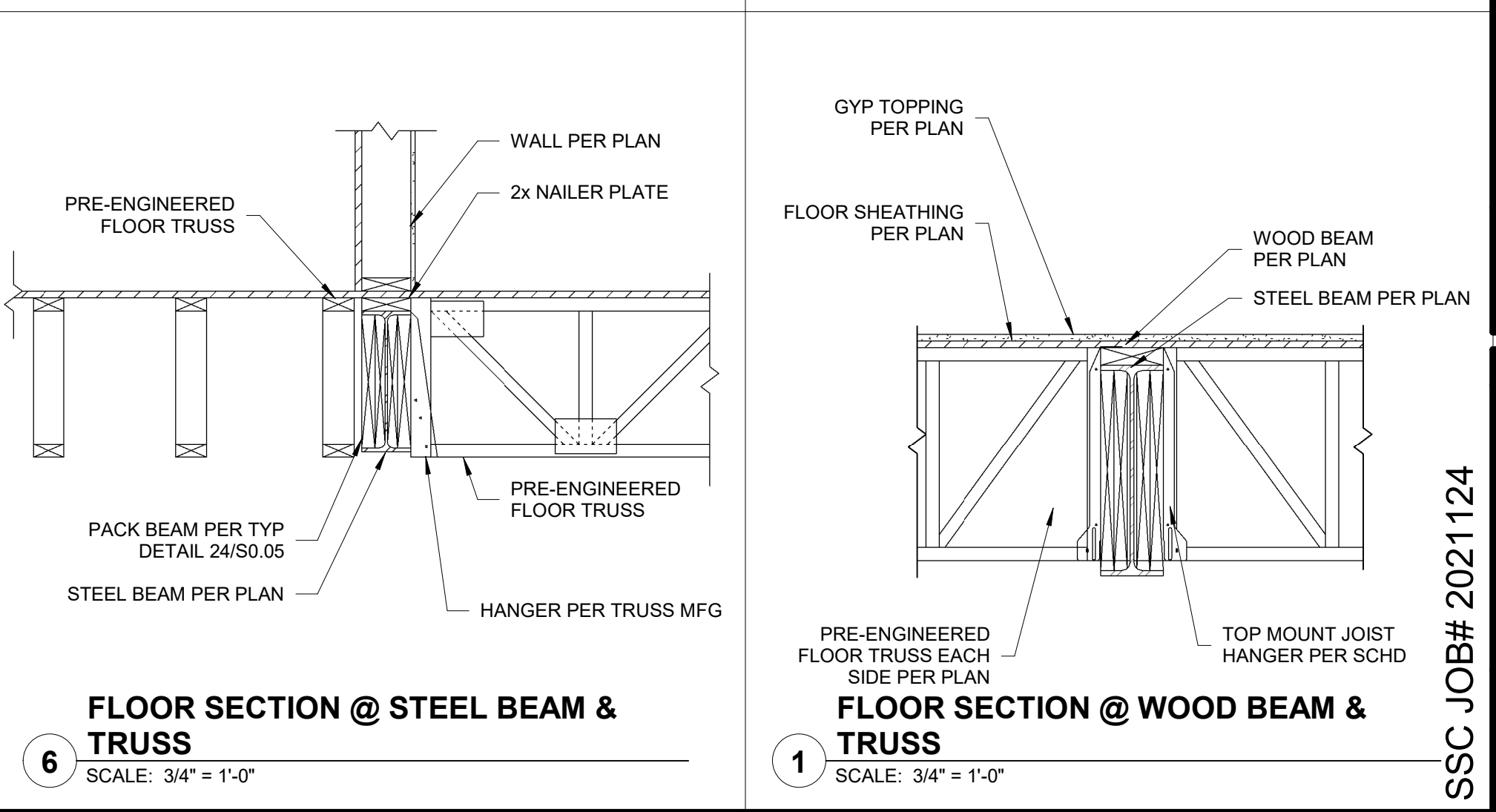
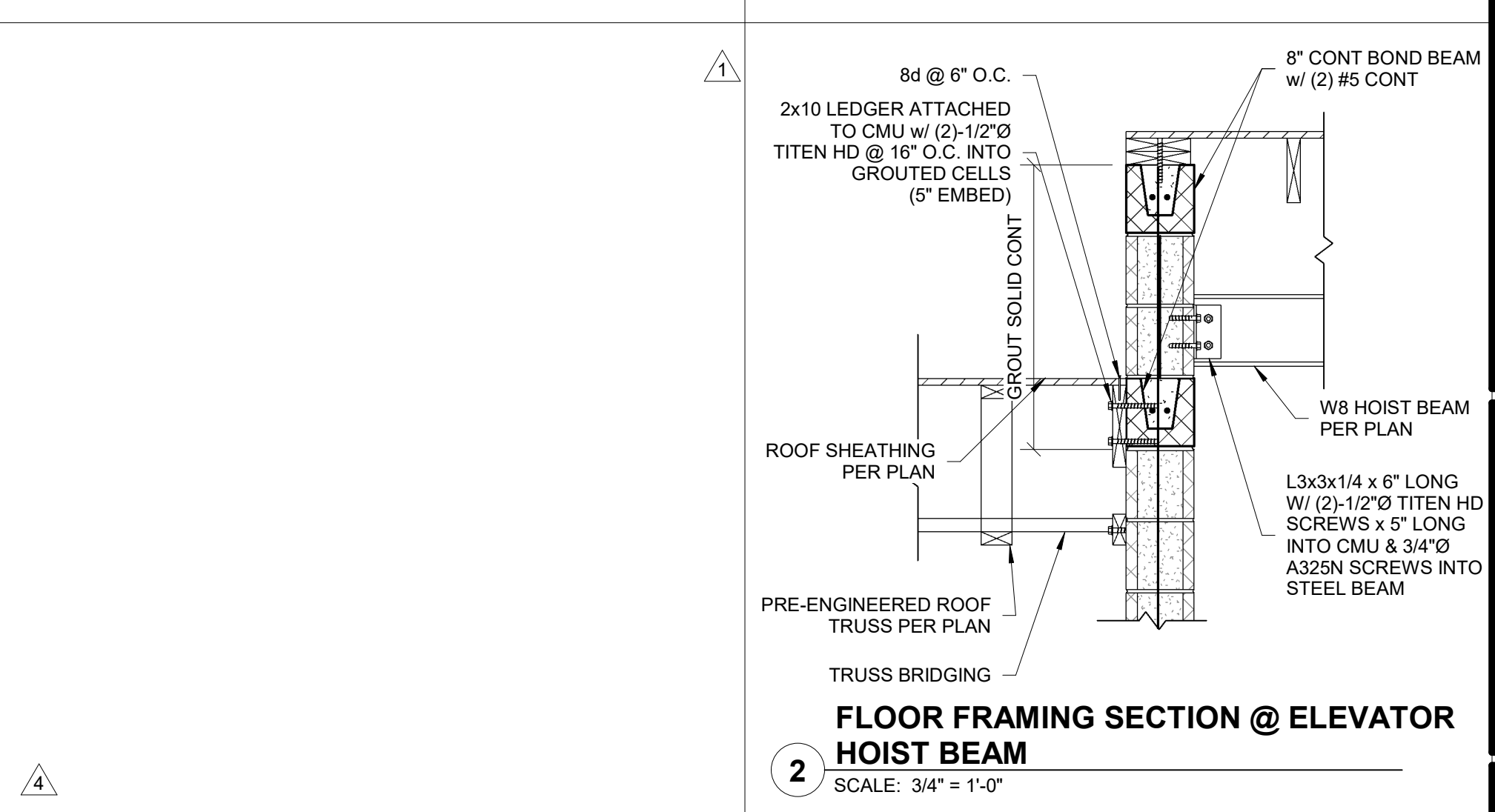
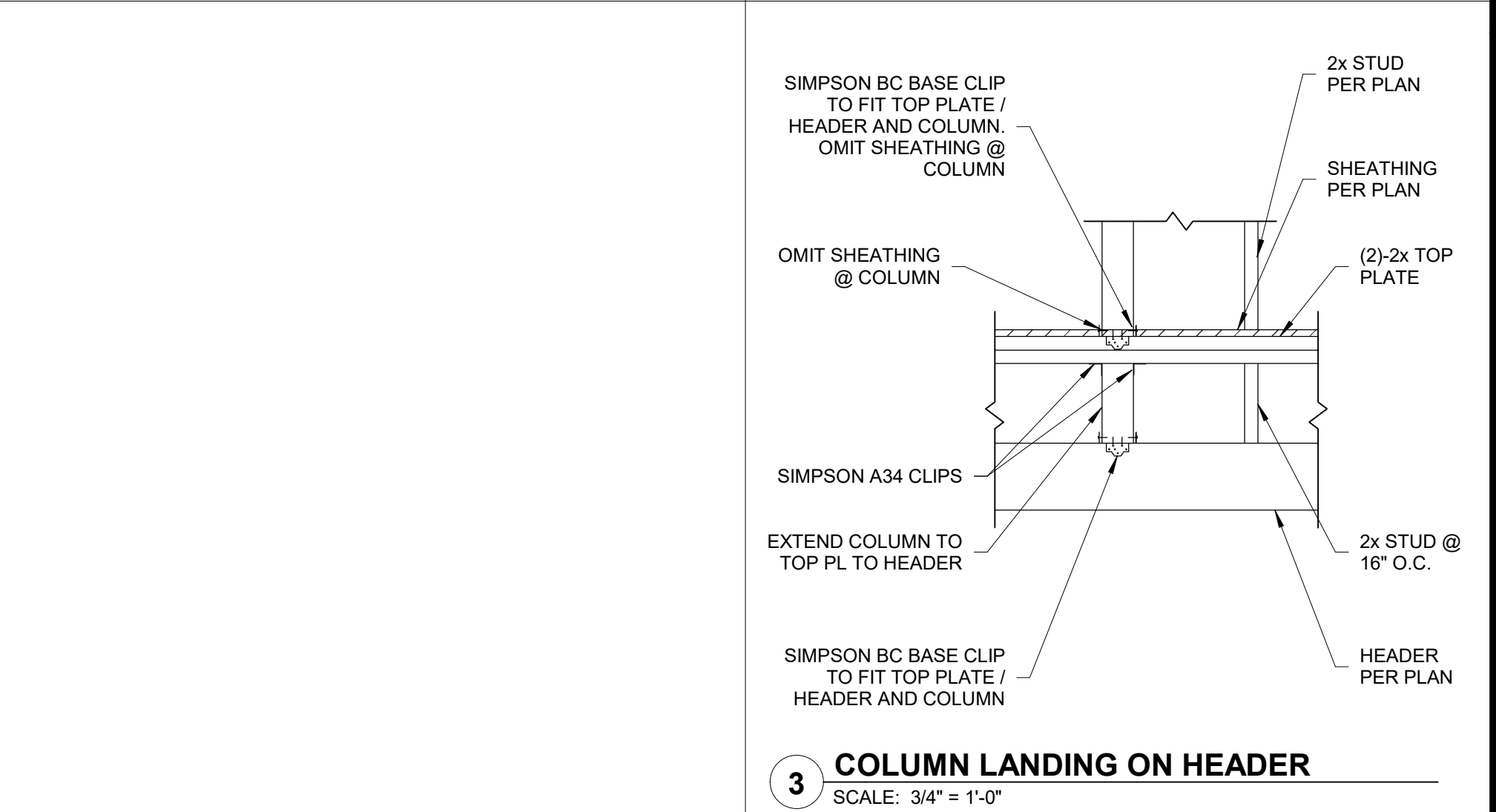
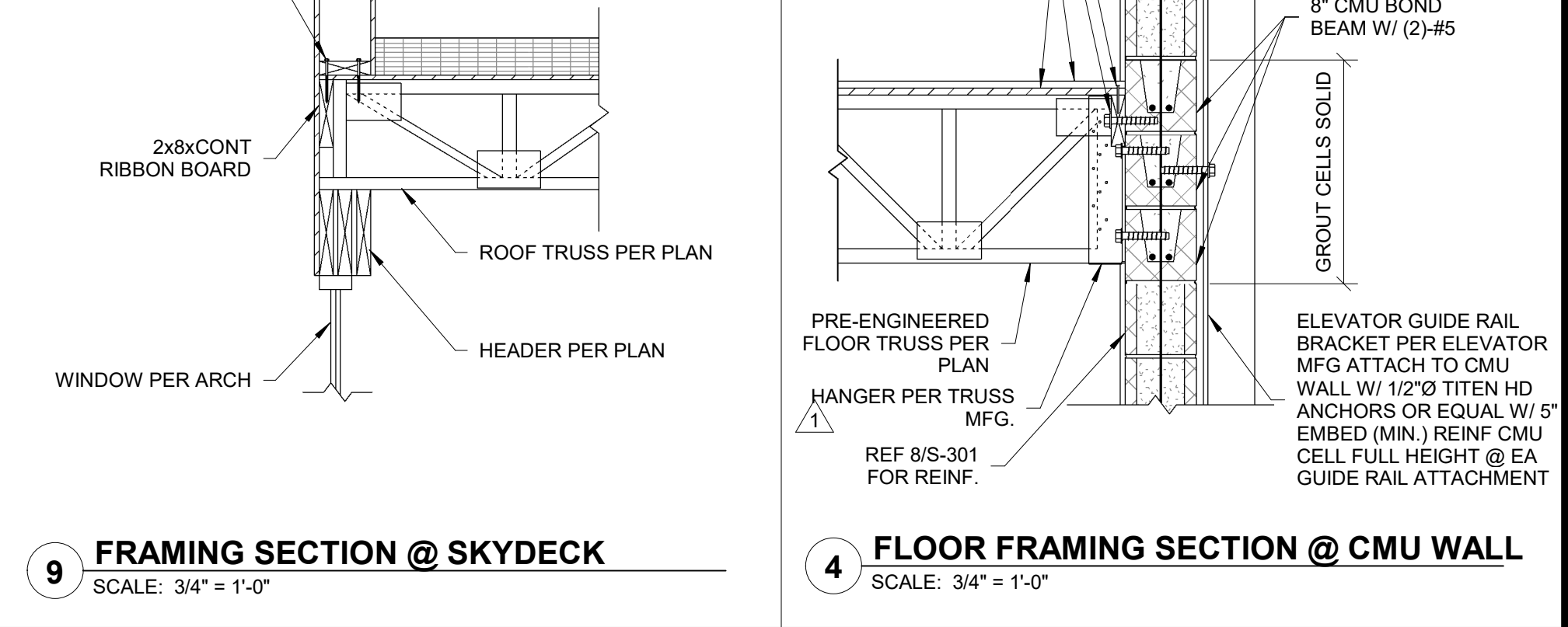
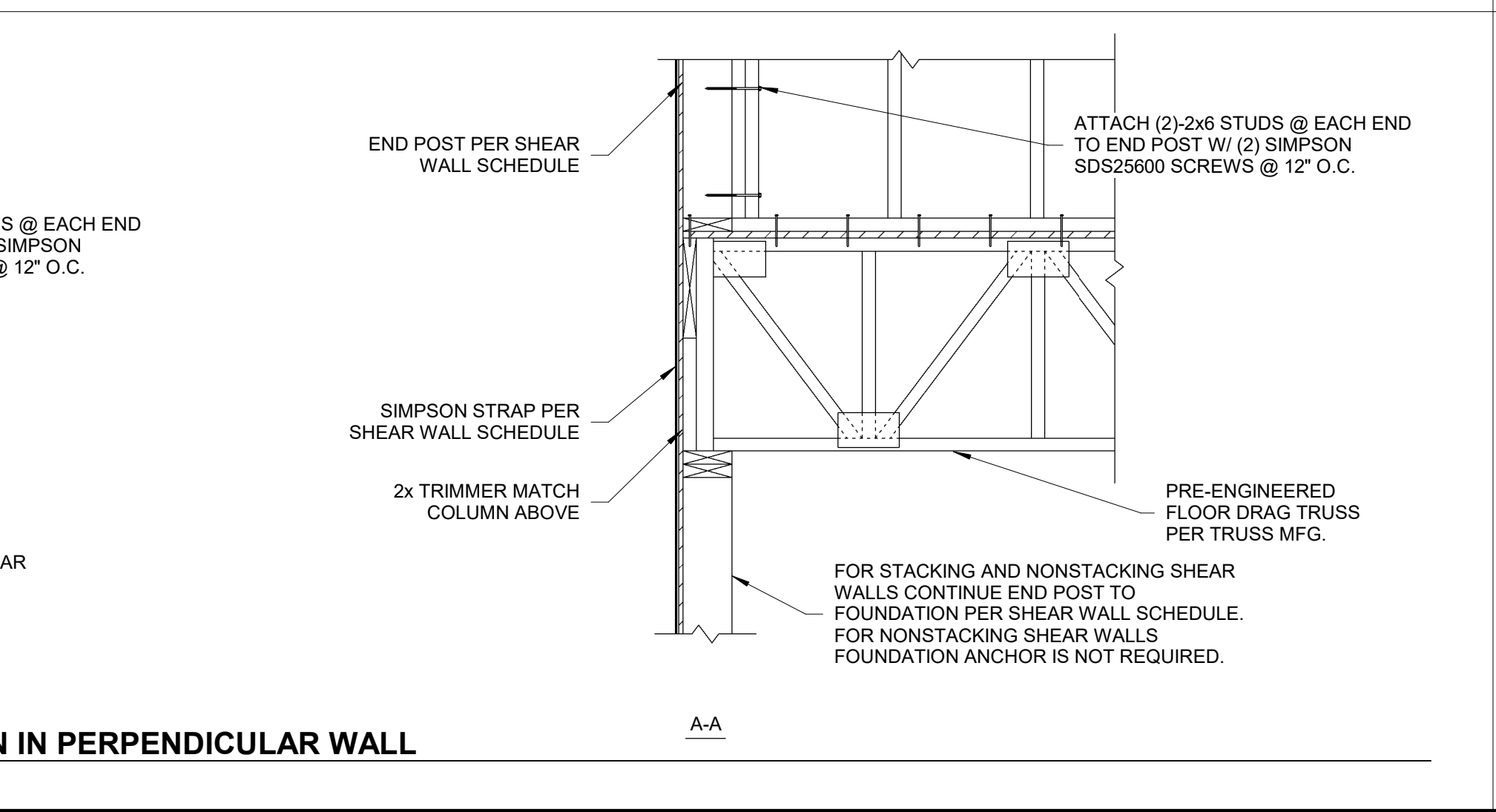
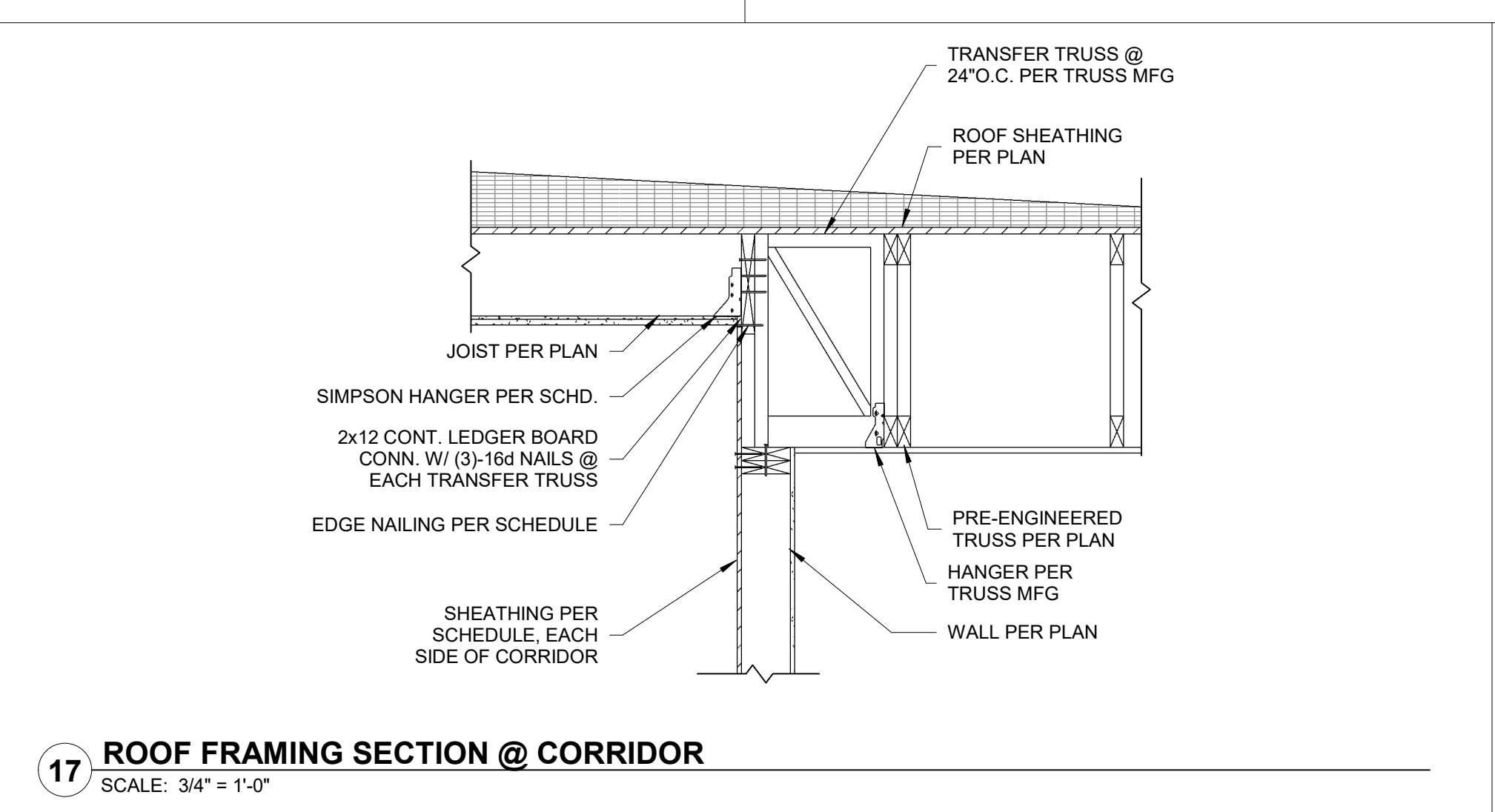
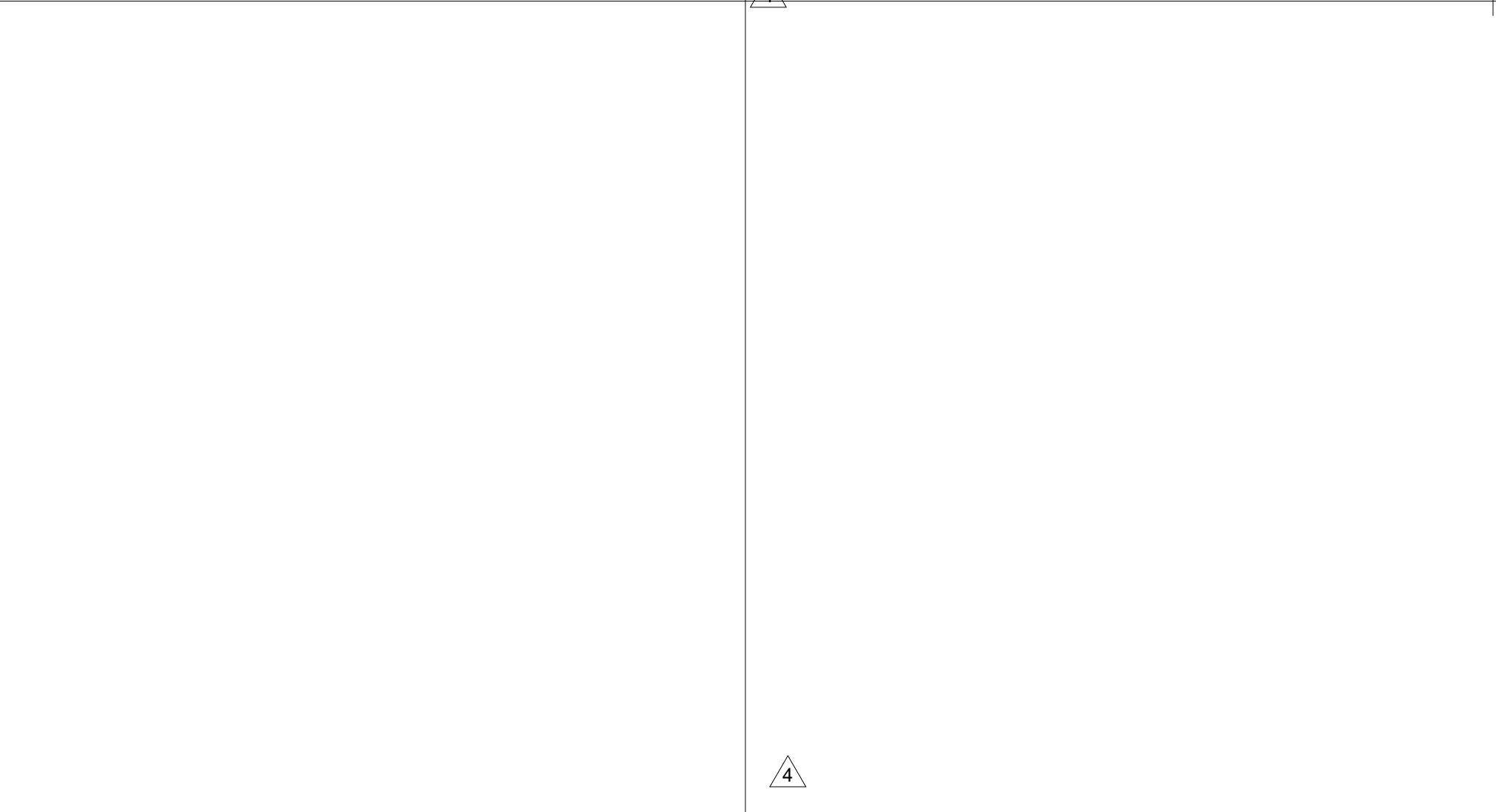
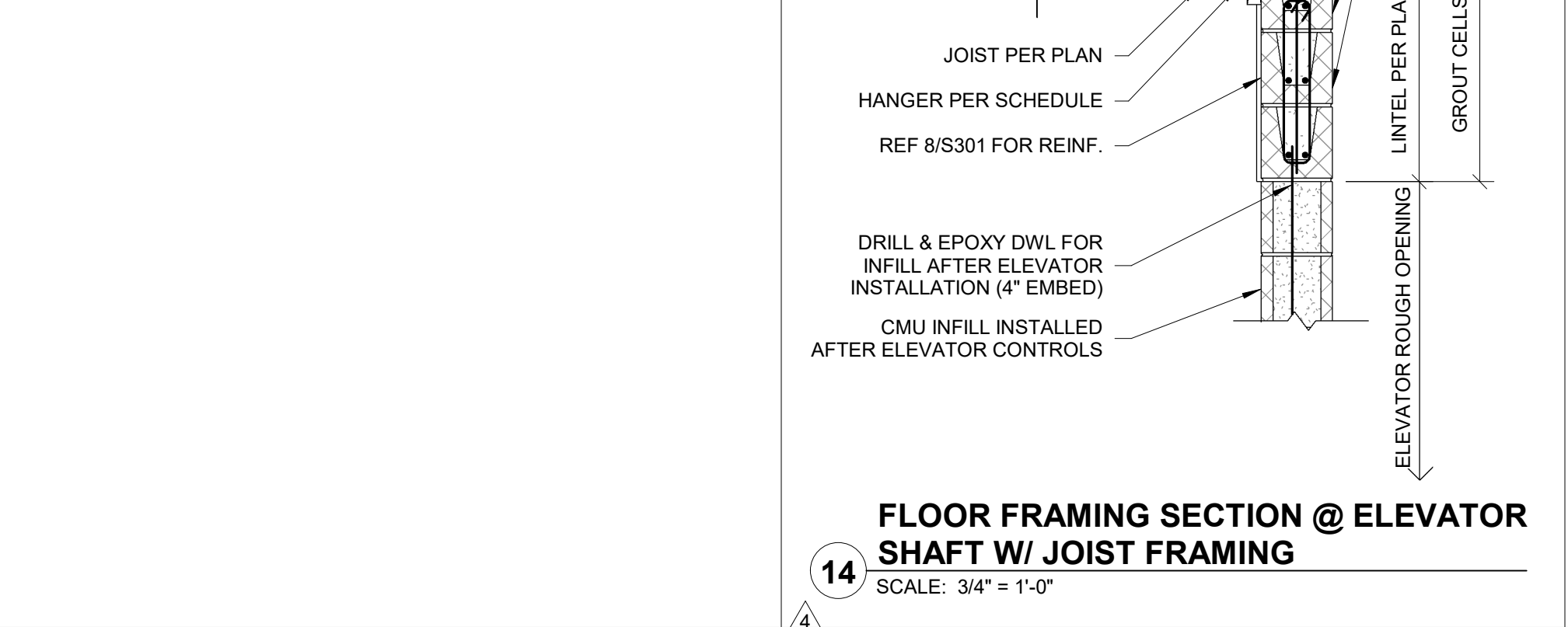
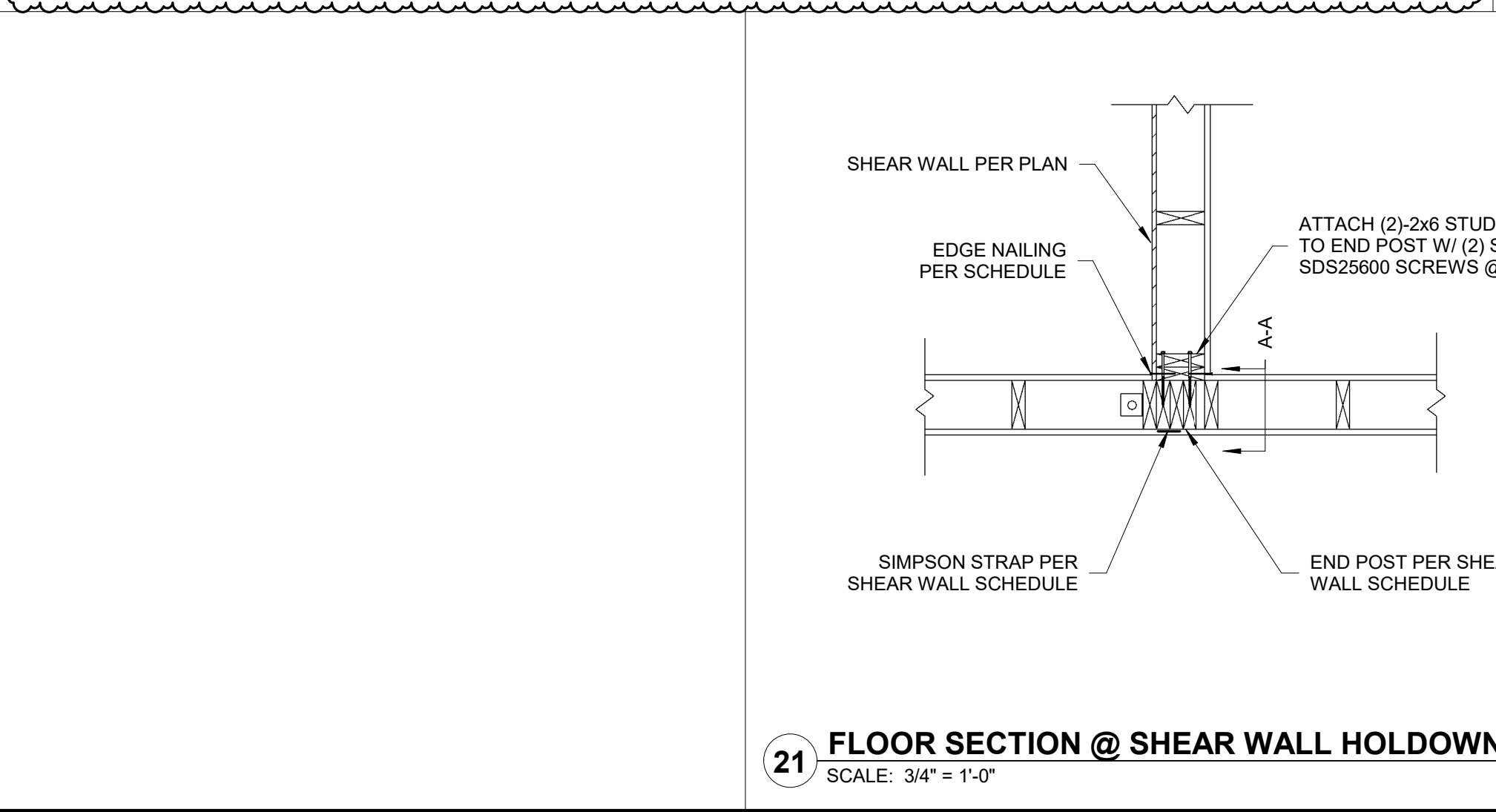
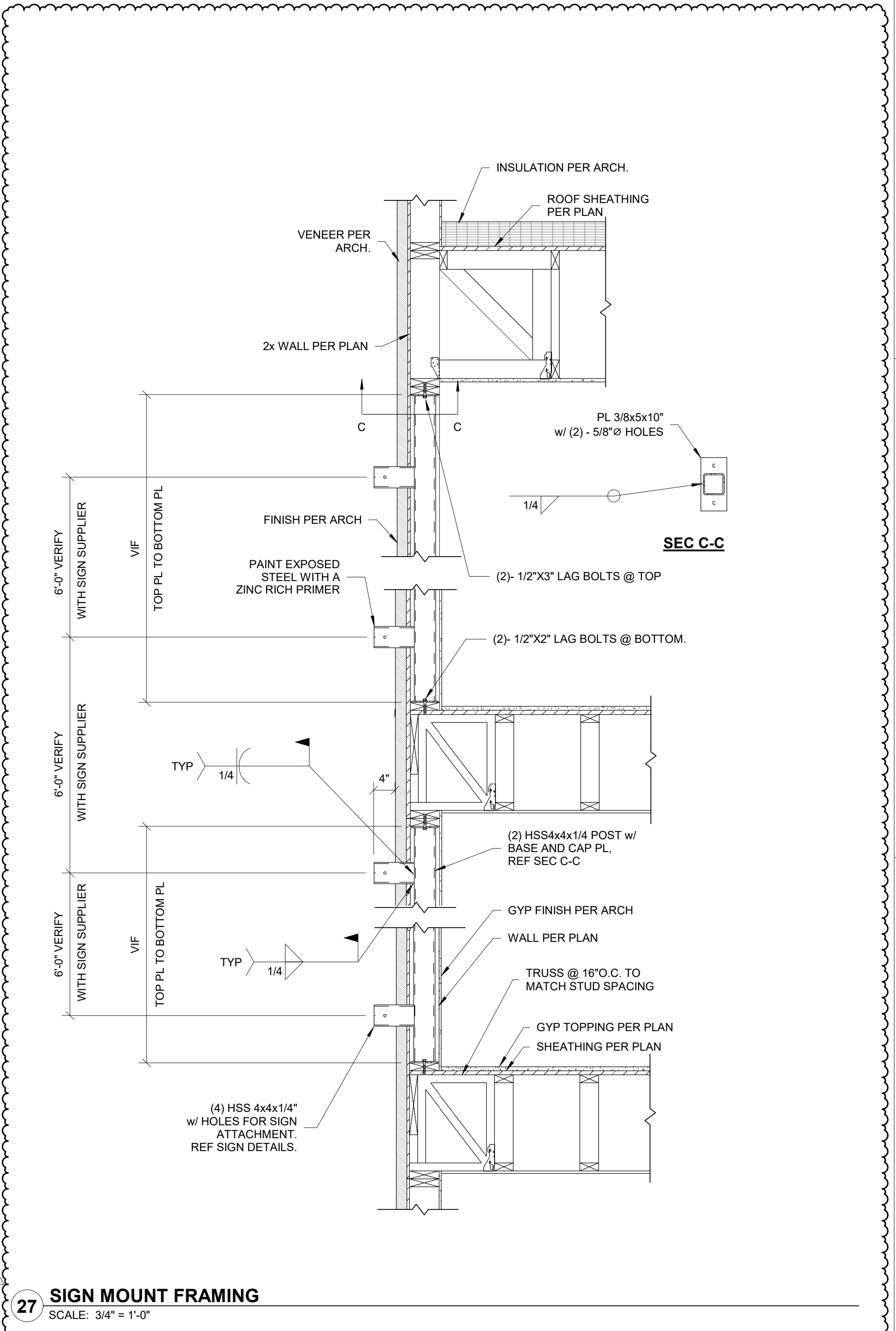
ISSUE DATE: **OCTOBER 1, 2021**
PROJECT NO: 2021124

ORIGINAL SHEET SIZE IS 30" x 42"
SHEET TITLE: **STRUCTURAL ROOF FRAMING PLAN**

SHEET NO: **S-201**
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STATE OF MISSOURI
RICHARD E. KWATKOWSKI
Professional Engineer
NO LIC# PE-202016683
EXP: 12/31/22

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1		10/19/2021	REV 1
4		04-12-22	ASB 03
6		09-28-23	ASI 08

ISSUE DATE
OCTOBER 1, 2021
PROJECT NO.
2021124

ORIGINAL SHEET SIZE IS 30" x 42"
SHEET TITLE
STRUCTURAL FRAMING SECTIONS

SHEET NO.
S-402
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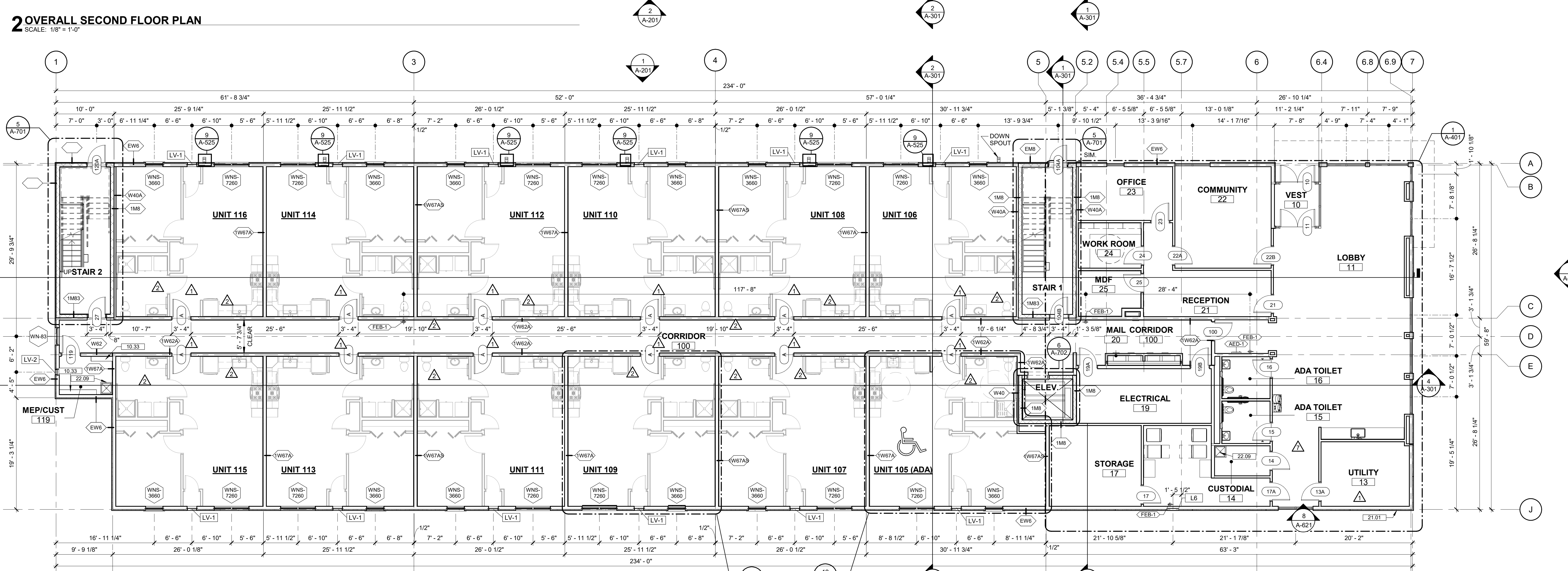
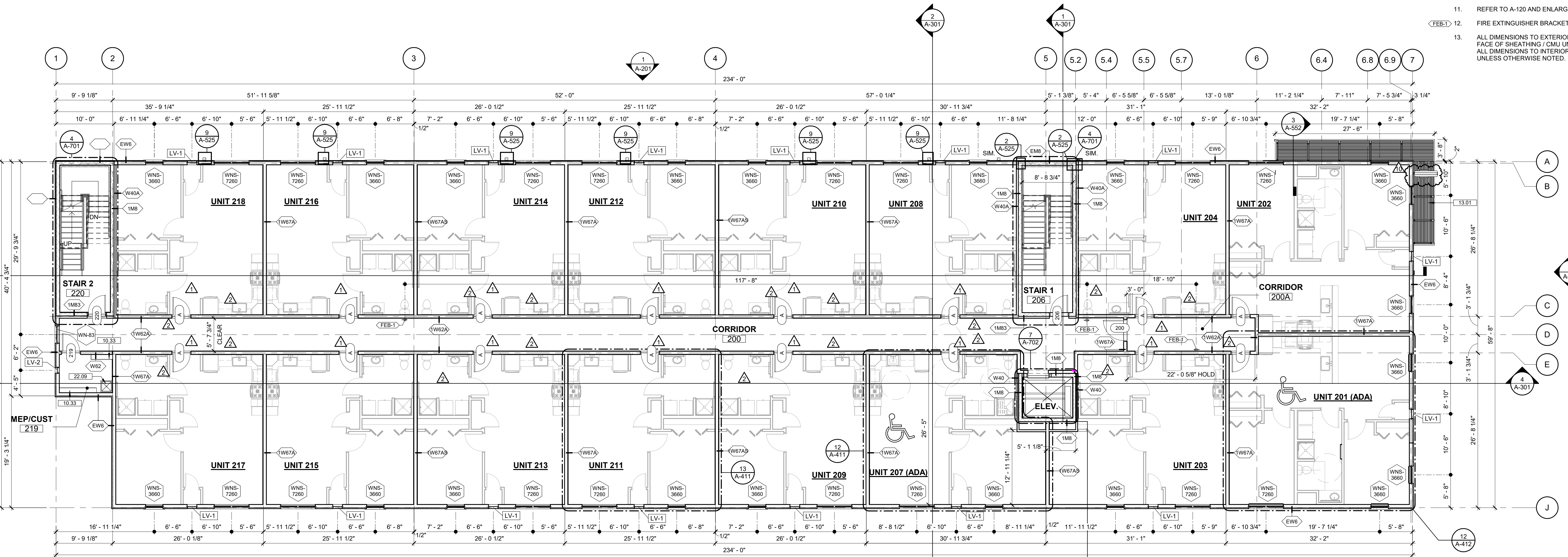
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KEY	NOTE
10.33	WIRE SHELVING
13.01	HANGER ROD SUPPORTED METAL RAIN CANOPY, SEE SECTION 7/A-551
21.01	FIRE DEPARTMENT CONNECTION, REFER TO PLUMBING, PROVIDE SIGNAGE ABOVE PER NFPA 12
22.09	MOP SINK, REFER TO PLUMBING

- ### GENERAL FLOOR PLAN NOTES
- REFER TO A-501 FOR EXTERIOR WALL TYPE DETAILS
 - REFER TO A-511 FOR PARTITION TYPE DETAILS
 - REFER TO A-60X SERIES FOR DOOR TYPES AND DETAILS
 - REFER TO A-621 FOR WINDOW TYPES AND DETAILS
 - REFER TO STRUCTURAL FOR GRID DIMENSIONS.
 - ALL EXTERIOR WALLS TO BE TYPE EW6 UNLESS NOTED OTHERWISE.
 - REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM FOR RESPECTIVE ITEMS.
 - UNIT PLAN DIMENSIONS ON SHEET A-411 AND A-412
 - ALL 1 BEDROOM UNITS SHALL BE TYPICAL 1A/A-411 UNLESS NOTED TO BE ACCESSIBLE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY OR DIMENSIONED OTHERWISE ON A-101 - A-102
 - ALL 2 BEDROOM UNITS SHALL BE TYPICAL 10A/A-412 UNLESS NOTED TO BE ACCESSIBLE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY
 - REFER TO A-120 AND ENLARGED PLANS FOR FINISHES.
 - FIRE EXTINGUISHER BRACKET.
 - ALL DIMENSIONS TO EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING / CMU UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO INTERIOR WALLS ARE TO STUD UNLESS OTHERWISE NOTED.



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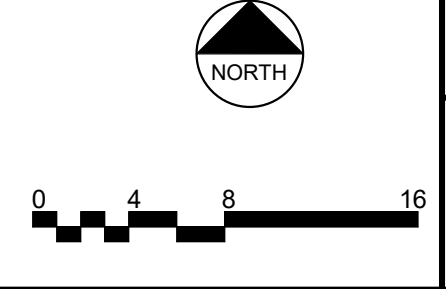


ISSUE	DATE	DESCRIPTION
1	10/15/2021	REV 01
2	11/11/2021	REV 02
5	06/08/2022	ASI 04
7	10/20/2022	CCD 02
10	09/28/2023	ASI 08

ISSUE DATE: **OCTOBER 1, 2021**
 PROJECT NO: **10-19534.03**
 MHDC PROJECT NO: **#19-090 MT**
 DRAWN BY: **AJK**
 REVIEWED BY: **WA**

ORIGINAL SHEET SIZE IS 30" x 42"
 SHEET TITLE:
OVERALL FIRST FLOOR AND SECOND FLOOR PLAN

SHEET NO.
A-101



9/29/2023 1:04:40 PM BIM 360://19534.03 - Urban League_Senior_Housing_At_Dellwood.rvt

KEY	NOTE
05.01	ROOF ACCESS LADDER, RE: 6/A-151
10.33	WIRE SHELVING
22.09	MOP SINK, REFER TO PLUMBING

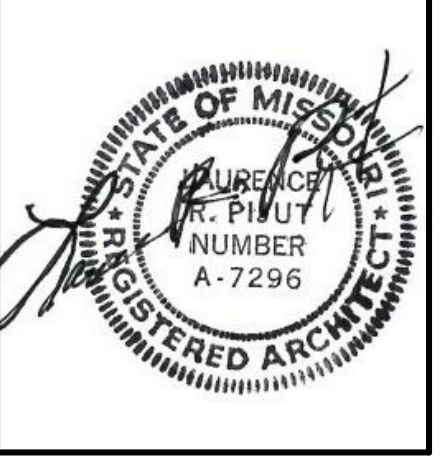
GENERAL FLOOR PLAN NOTES

- 1. REFER TO A-501 FOR EXTERIOR WALL TYPE DETAILS
- 2. REFER TO A-511 FOR PARTITION TYPE DETAILS
- 3. REFER TO A-60X SERIES FOR DOOR TYPES AND DETAILS
- 4. REFER TO A-621 FOR WINDOW TYPES AND DETAILS
- 5. REFER TO STRUCTURAL FOR GRID DIMENSIONS.
- 6. ALL EXTERIOR WALLS TO BE TYPE EW6 UNLESS NOTED OTHERWISE.
- 7. REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM FOR RESPECTIVE ITEMS.
- 8. UNIT PLAN DIMENSIONS ON SHEET A-411 AND A-412
- 9. ALL 1 BEDROOM UNITS SHALL BE TYPICAL 1a/A-411 UNLESS NOTED TO BE ACCESSIBLE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY OR DIMENSIONED OTHERWISE ON A-101 - A-102
- 10. ALL 2 BEDROOM UNITS SHALL BE TYPICAL 10a/A-412 UNLESS NOTED TO BE ACCESSIBLE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY
- 11. REFER TO A-120 AND ENLARGED PLANS FOR FINISHES.
- 12. FIRE EXTINGUISHER BRACKET.
- 13. ALL DIMENSIONS TO EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING/CMU UNLESS OTHERWISE NOTED. ALL DIMENSIONS TO INTERIOR WALLS ARE TO STUD UNLESS OTHERWISE NOTED.



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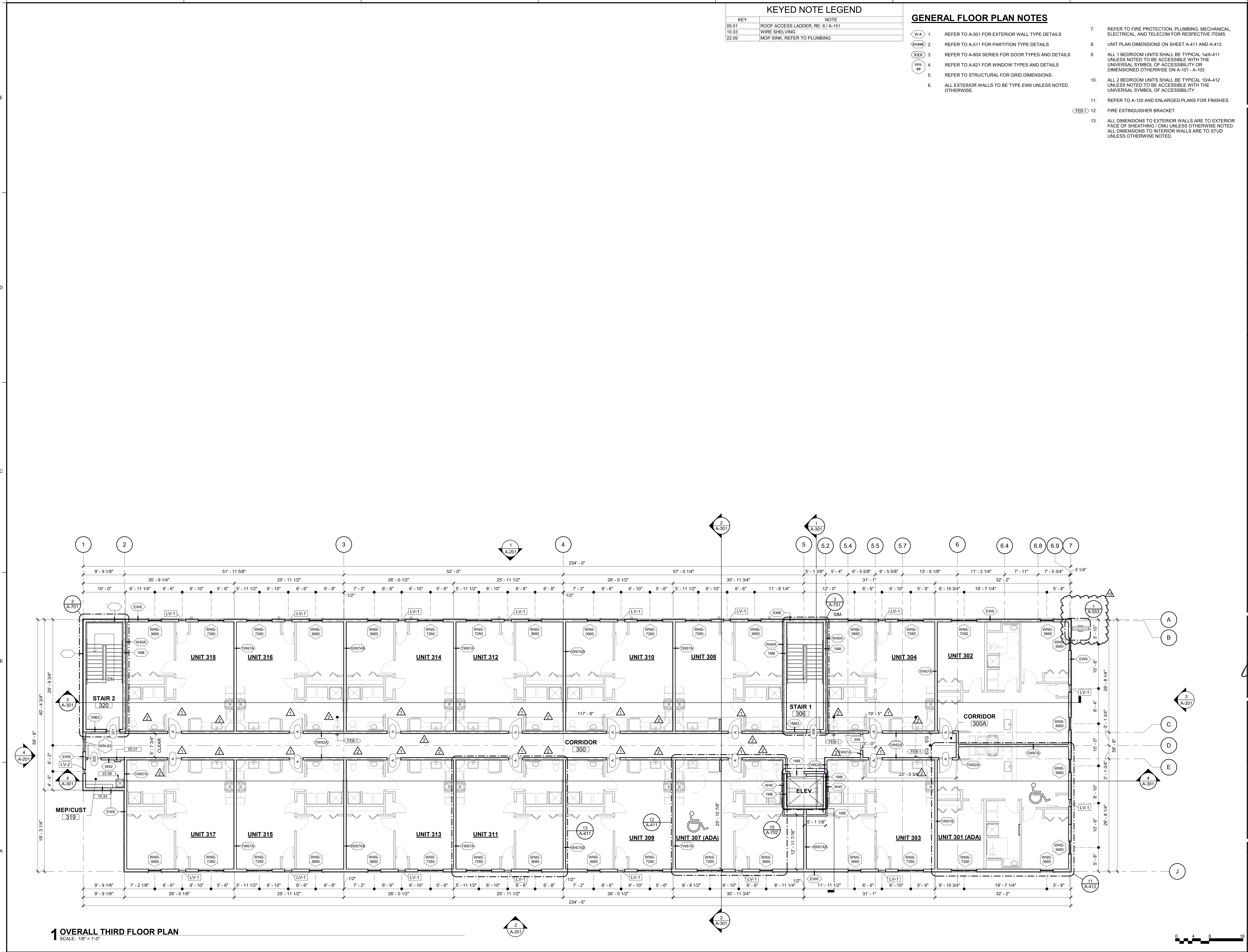


MARK	DATE	DESCRIPTION
1	10/15/2021	REV 01
2	11/11/2021	REV 02
10	09/28/2023	ASI 08

ISSUE DATE: **OCTOBER 1, 2021**
 PROJECT NO: **10-19534.03**
 MHDC PROJECT NO: **#19-090 MT**
 DRAWN BY: **AJK**
 REVIEWED BY: **WA**

ORIGINAL SHEET SIZE IS 30" x 42"
 SHEET TITLE:
OVERALL THIRD FLOOR PLAN

SHEET NO.
A-102



9/29/2023 1:00:40 PM BIM 360://19534.03 - Urban League_Senior_Housing_at_Dellwood.rvt

GENERAL REFLECTED CEILING PLAN NOTES

- REFER TO A-411 AND A-412 FOR UNIT CEILING PLANS
- REFER TO A-120 FOR SCHEDULED FINISHES

KEYED NOTE LEGEND

KEY	NOTE
09.01	CEILING LIGHT DIFFUSER PANELS
09.10	DRAFTSTOPPING
13.01	HANGER ROD SUPPORTED METAL RAIN CANOPY, SEE SECTION 7/A-551

REFLECTED CEILING PLAN LEGEND

- CEILING TAG WITH HEIGHT ABOVE FINISH FLOOR
- 2 X 2 ACOUSTICAL CEILING TILE AND GRID
- EXTERIOR EIFS SOFFIT
- GYPSUM BOARD ON RESILIENT CHANNELS TO BOTTOM OF STRUCTURE, TYPICAL ALL LOCATIONS PT-1, RE: A-120
- LED DOWNLIGHT
- CEILING FAN WITH LIGHT
- RETURN AIR DIFFUSER
- SUPPLY AIR DIFFUSER
- EXHAUST
- EXIT SIGN
- EMERGENCY LIGHT
- LINEAR LED

REFER TO SHEET A-412 FOR CEILING INFORMATION, TYPICAL.



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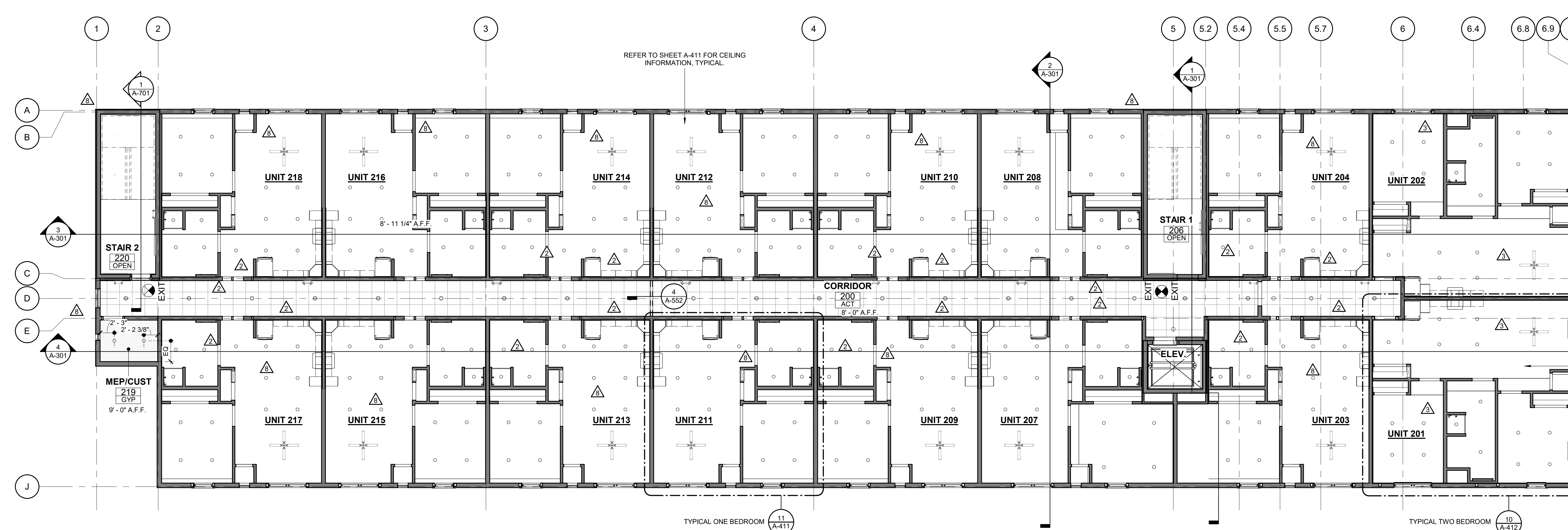


ISSUE	MARK	DATE	DESCRIPTION
1		10/15/2021	REV 01
2		11/11/2021	REV 02
3		03/11/2022	ASI 001
5		06/08/2022	ASI 04
7		10/20/2022	CCD 02
8		06/01/2023	ASI 05
10		09/28/2023	ASI 08

ISSUE DATE
OCTOBER 1, 2021
 PROJECT NO.
 10-19534.03
 MHDC PROJECT NO.
 #19-090 MT
 DRAWN BY: AJK
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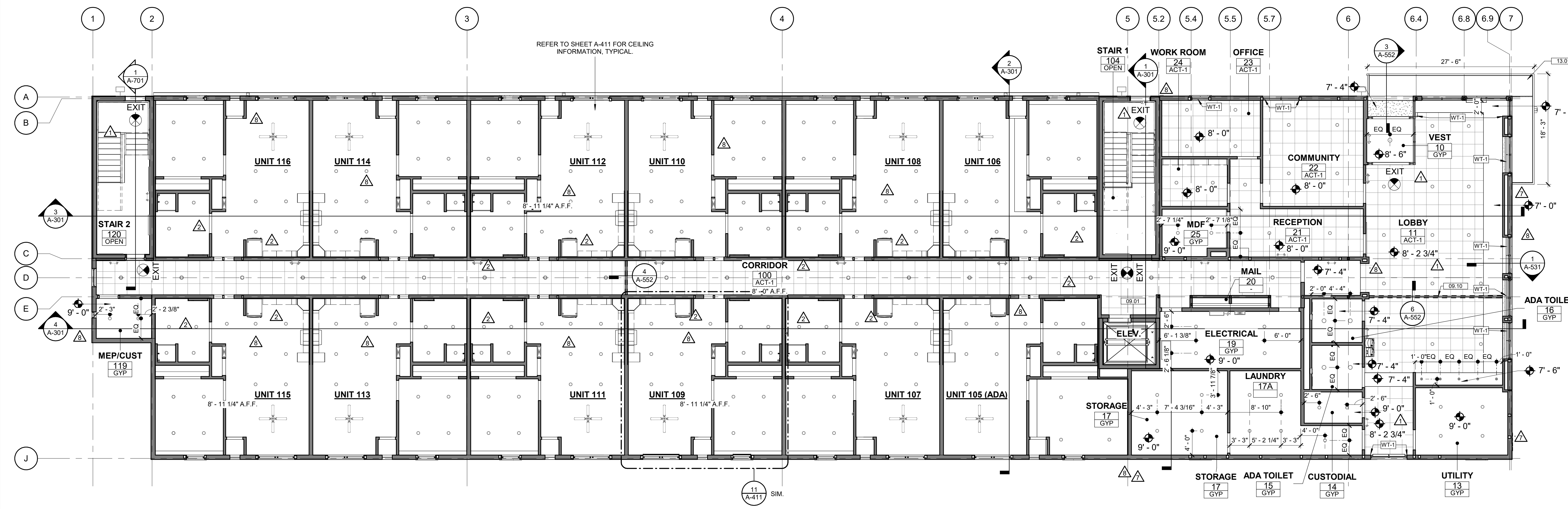
ORIGINAL SHEET SIZE IS 30" X 42"
 SHEET TITLE
OVERALL FIRST AND SECOND FLOOR REFLECTED CEILING PLAN

SHEET NO.
A-111



1 OVERALL SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

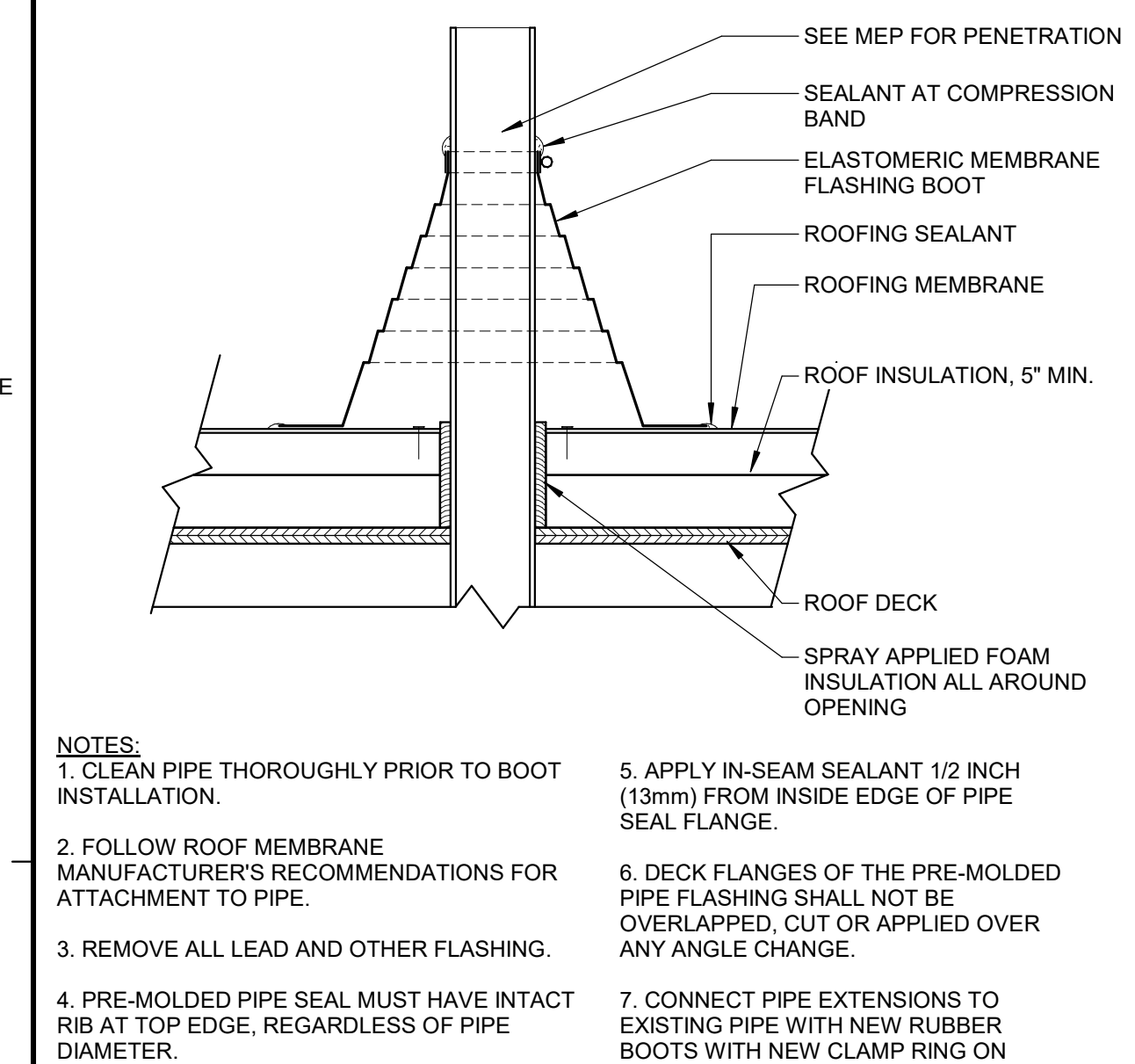


2 OVERALL FIRST FLOOR REFLECTED CEILING PLAN

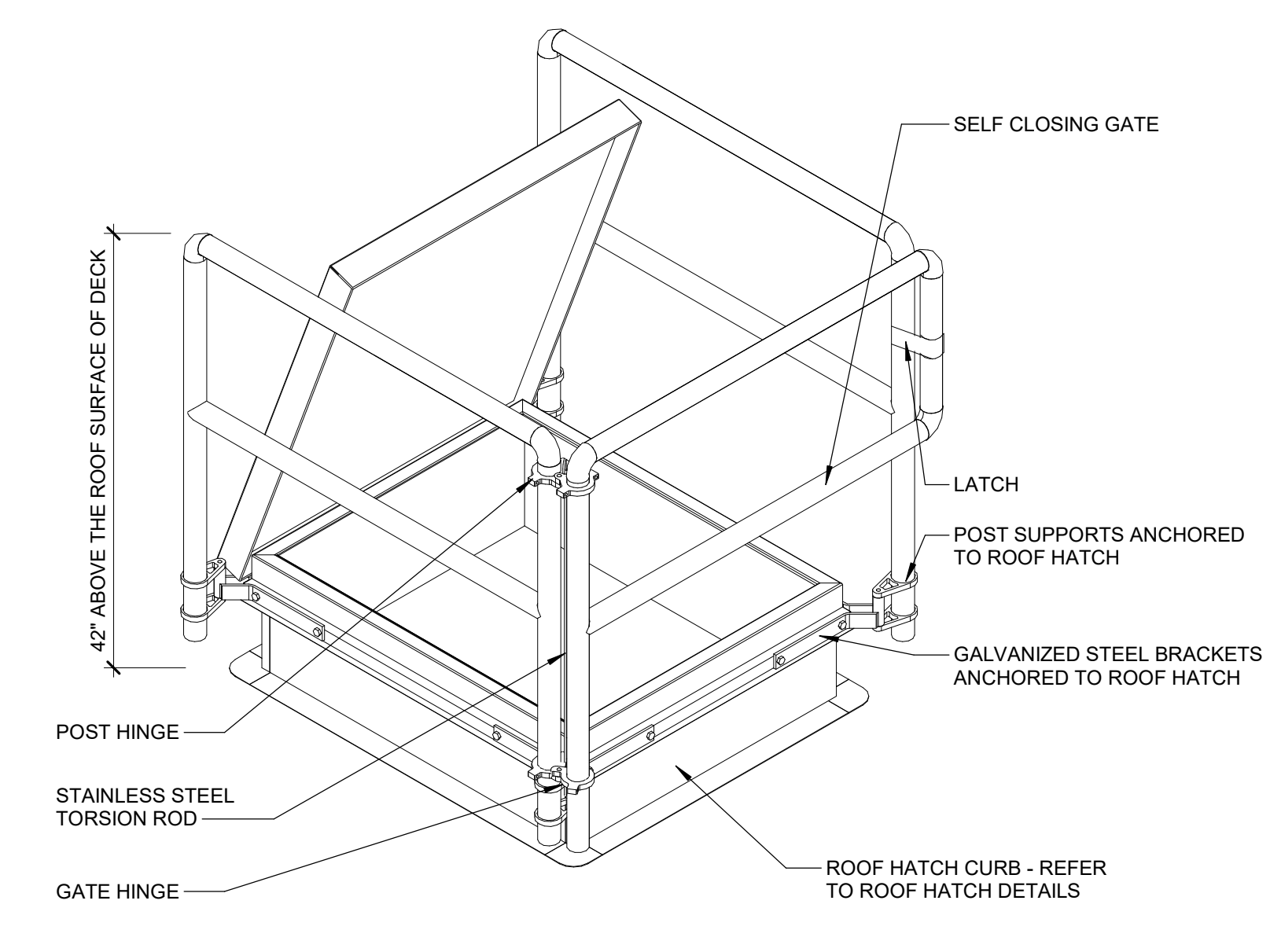
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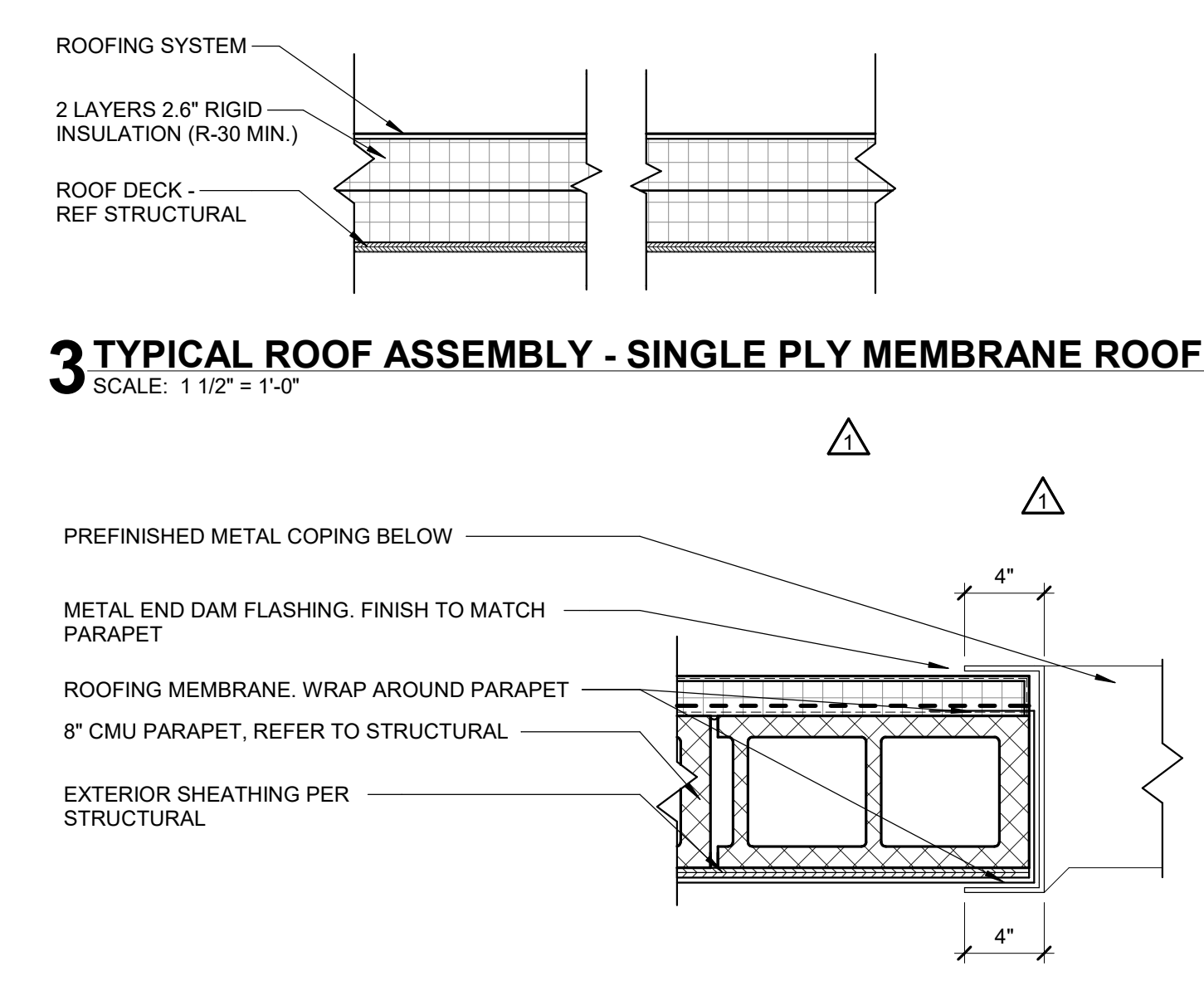
KEYED NOTE LEGEND	
KEY	NOTE
07.01	PRE-FORMED 6X6 METAL GUTTER INTO 5X6 PRE-FORMED METAL DOWNSPOUTS
07.02	PRE-FINISHED ALUMINUM DOWNSPOUT - OUTLETS TO 36" LONG SPLASH BLOCKS SLOPED AWAY FROM BUILDING, TYPICAL.
07.06	EPDM ROOFING
07.09	PRE-FINISHED METAL ROOF COPING AT PARAPET
07.10	CRICKET AT 1/4" / 12" SLOPE
11.11	EQUIPMENT RAIL
13.01	HANGER ROD SUPPORTED METAL RAIN CAP, SEE SECTION 7/A-551



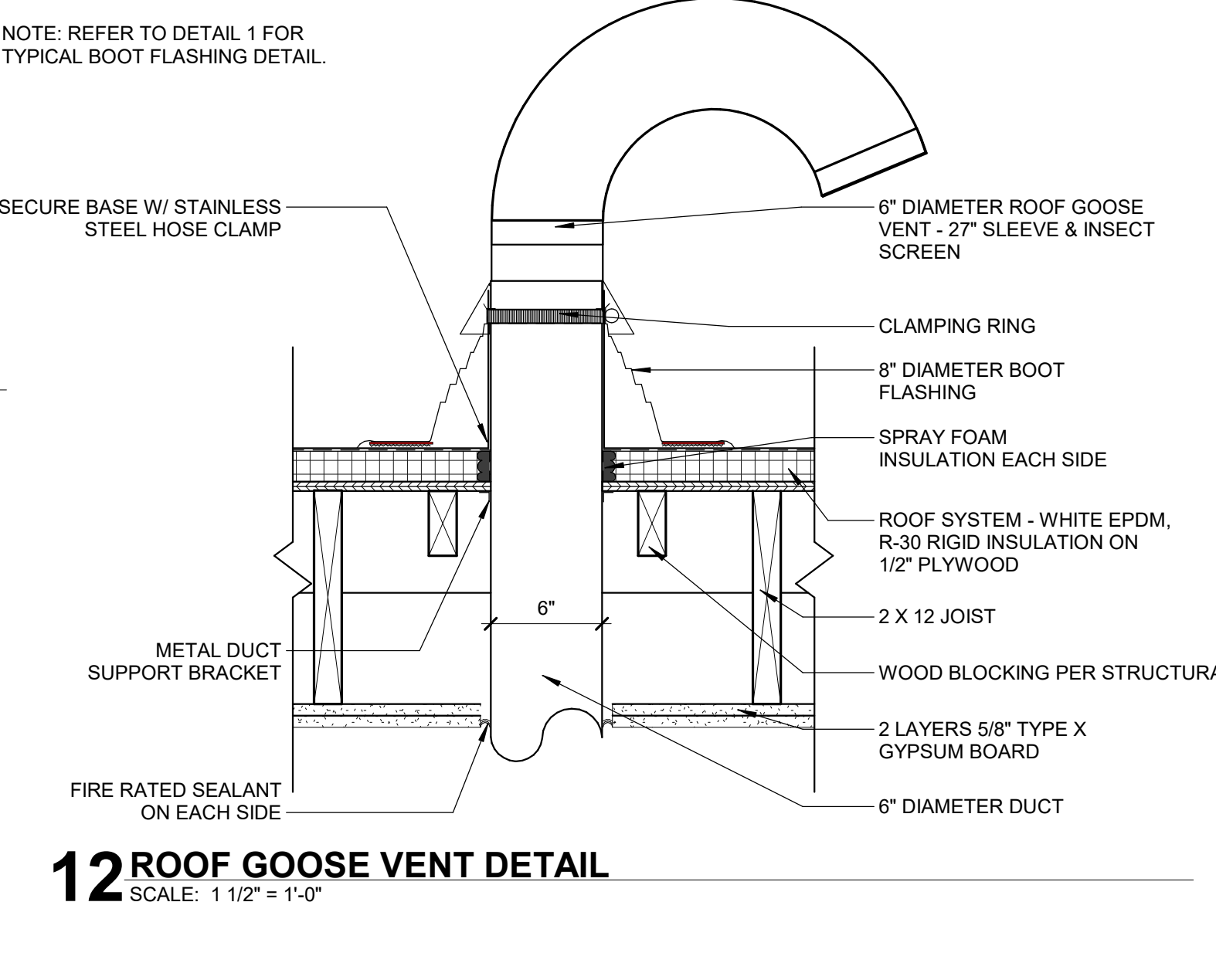
1 ROOF PENETRATION DETAIL
 SCALE: 1 1/2" = 1'-0"



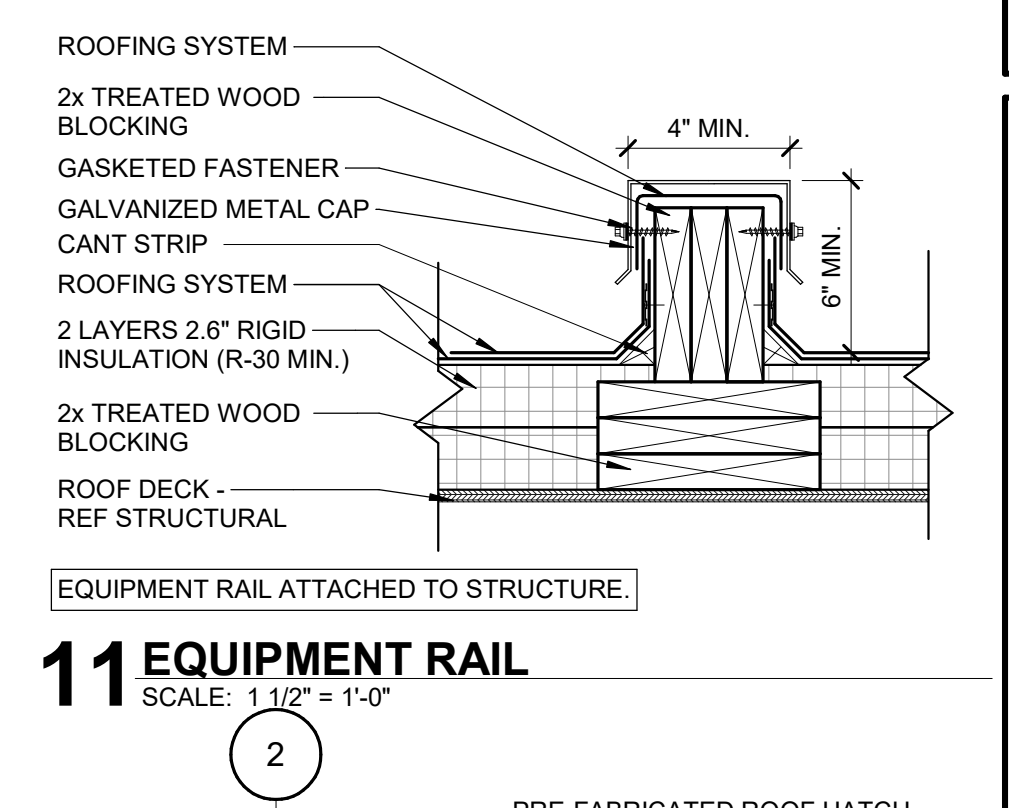
2 ROOF ACCESS HATCH SAFETY RAILING DETAIL
 SCALE: 1 1/2" = 1'-0"



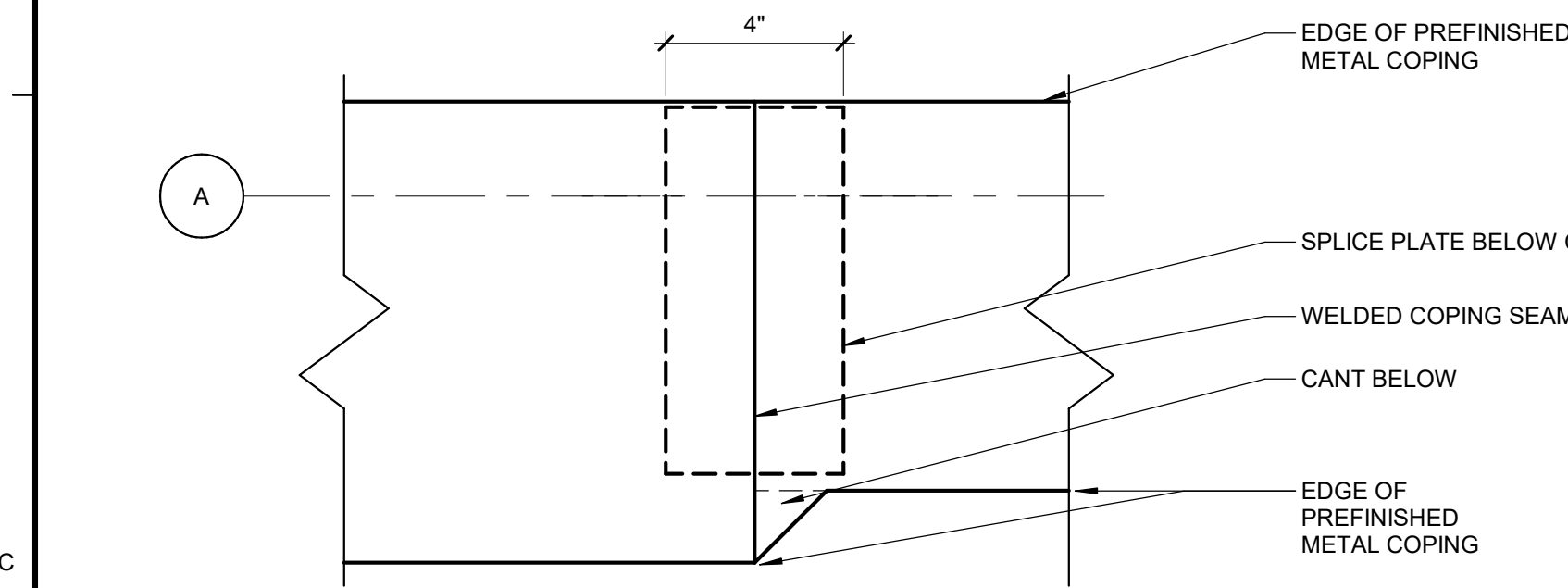
3 TYPICAL ROOF ASSEMBLY - SINGLE PLY MEMBRANE ROOF
 SCALE: 1 1/2" = 1'-0"



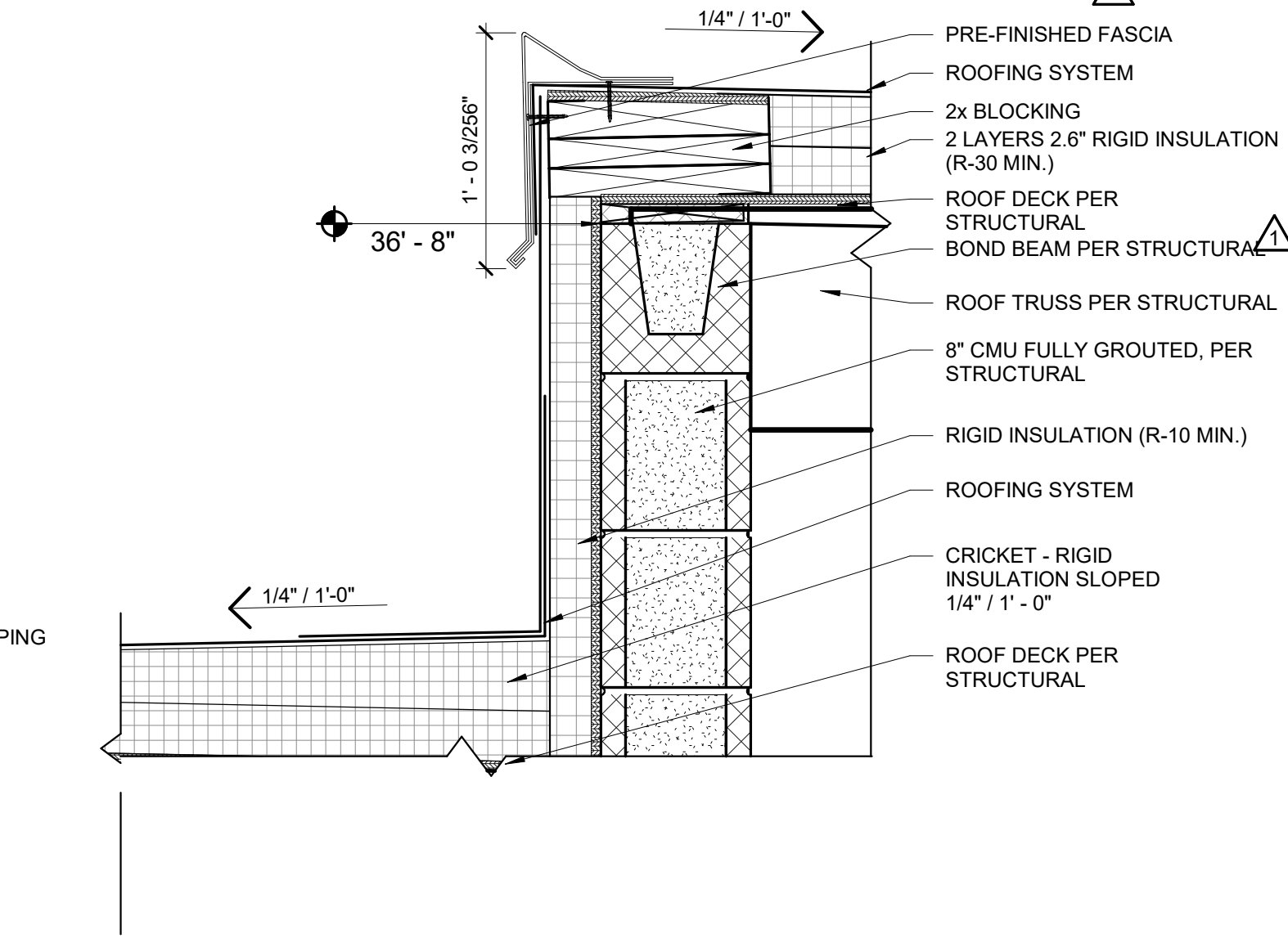
12 ROOF GOOSE VENT DETAIL
 SCALE: 1 1/2" = 1'-0"



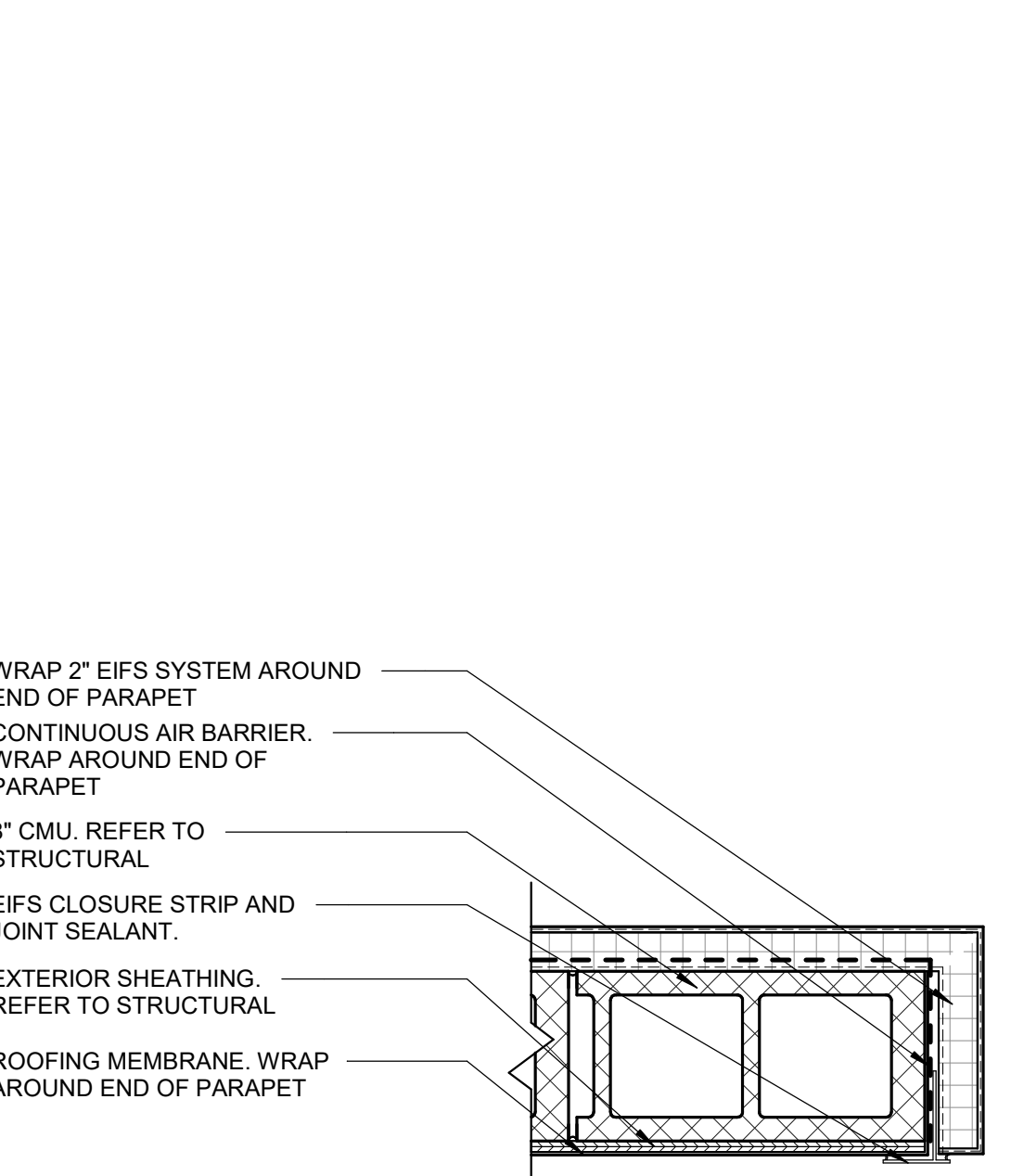
11 EQUIPMENT RAIL
 SCALE: 1 1/2" = 1'-0"



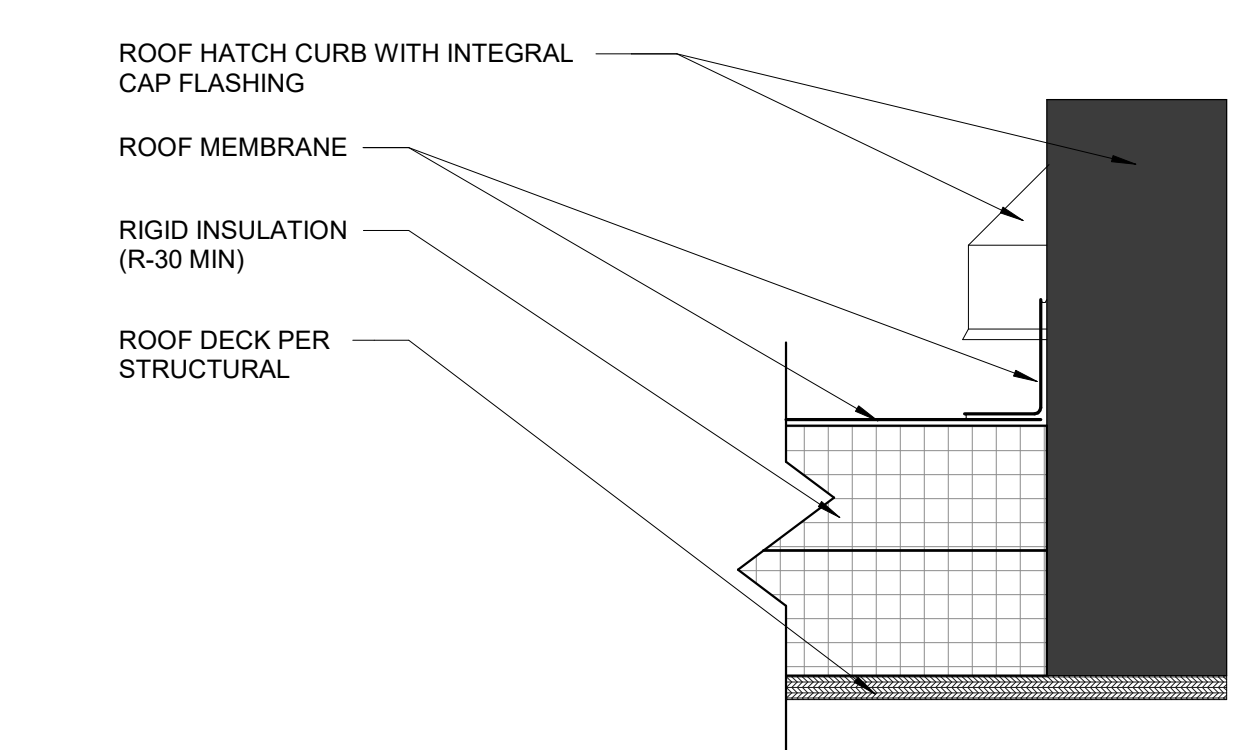
5 PARAPET TRANSITION - PLAN DETAIL
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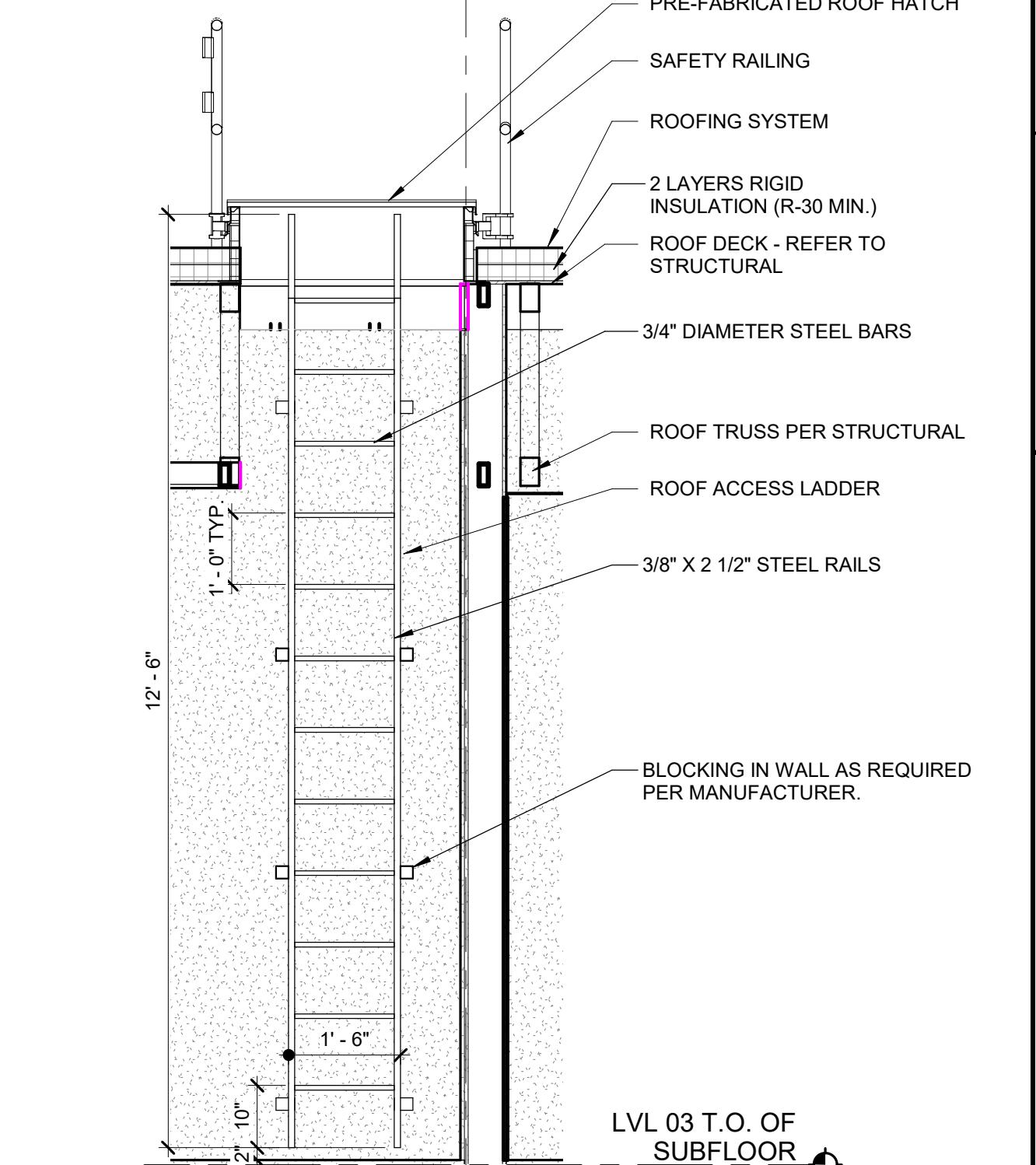
6 ELEVATOR OVERRUN SECTION DTL
 SCALE: 1 1/2" = 1'-0"



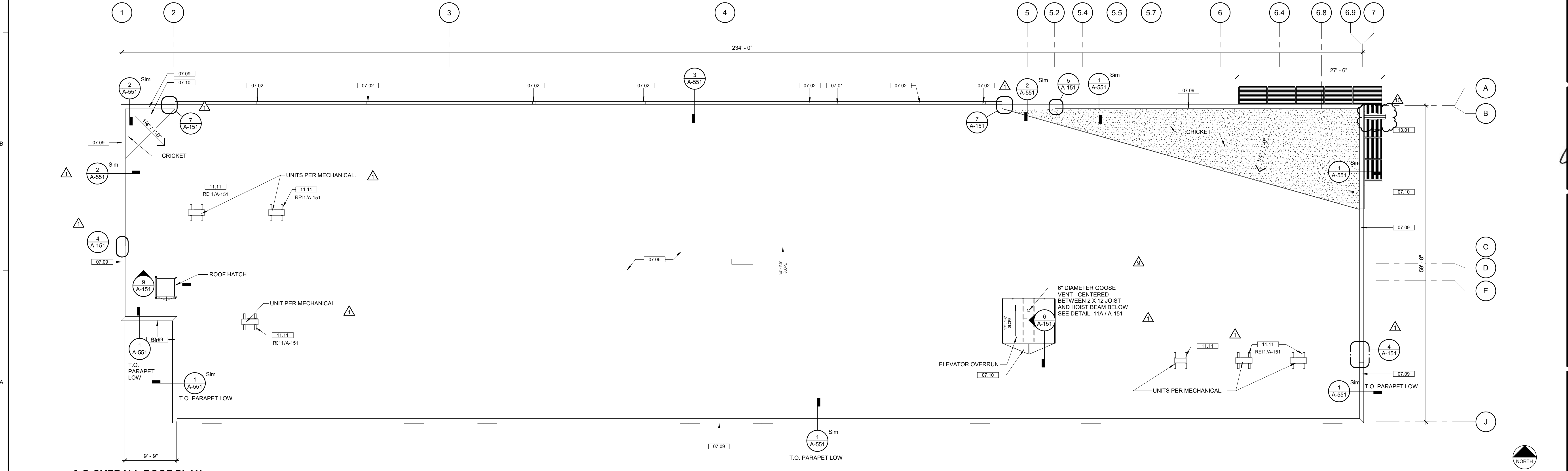
7 PARAPET END CONDITION AT N. ELEV.
 SCALE: 1 1/2" = 1'-0"



8 CURB AT ROOF HATCH
 SCALE: 3" = 1'-0"



9 ROOF ACCESS HATCH SECTION
 SCALE: 1/2" = 1'-0"



10 OVERALL ROOF PLAN
 SCALE: 1/8" = 1'-0"

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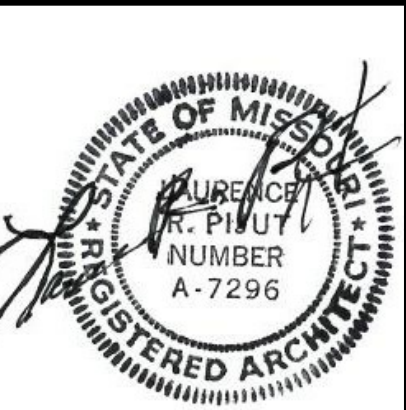


ISSUE	MARK	DATE	DESCRIPTION
1		10/15/2021	REV 01
7		10/20/2022	CCD 02
9		08/22/2023	ASI 07
10		09/28/2023	ASI 08

ISSUE DATE
OCTOBER 1, 2021
 PROJECT NO.
10-19534.03
 MHDC PROJECT NO.
#19-090 MT
 DRAWN BY: **AJK**
 REVIEWED BY: **WA**

ORIGINAL SHEET SIZE IS 30" X 42"
 SHEET TITLE
OVERALL ROOF PLAN

SHEET NO.
A-151



ISSUE	DATE	DESCRIPTION
1	10/15/2021	REV 01
3	03/11/2022	AS1 001
7	10/20/2022	CCD 02
8	06/01/2023	ASI 06
10	09/28/2023	ASI 08

ISSUE DATE
OCTOBER 1, 2021

PROJECT NO.
10-19534.03

MHDC PROJECT NO.
#19-090 MT

DRAWN BY: AJK

REVIEWED BY: WA

ORIGINAL SHEET SIZE IS 30" x 42"

SHEET TITLE
BUILDING ELEVATIONS

GENERAL ELEVATION NOTES

- REFER TO A-60X SERIES FOR DOOR TYPES AND DETAILS
- REFER TO A-62X FOR WINDOW TYPES AND DETAILS
- REFER TO A-63X SERIES FOR STOREFRONT AND INTERIOR GLAZING TYPES AND DETAILS
- REFER TO STRUCTURAL FOR GRID DIMENSIONS.
- REFER TO FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL, AND TELECOM FOR RESPECTIVE ITEMS.

EXTERIOR MATERIAL LEGEND

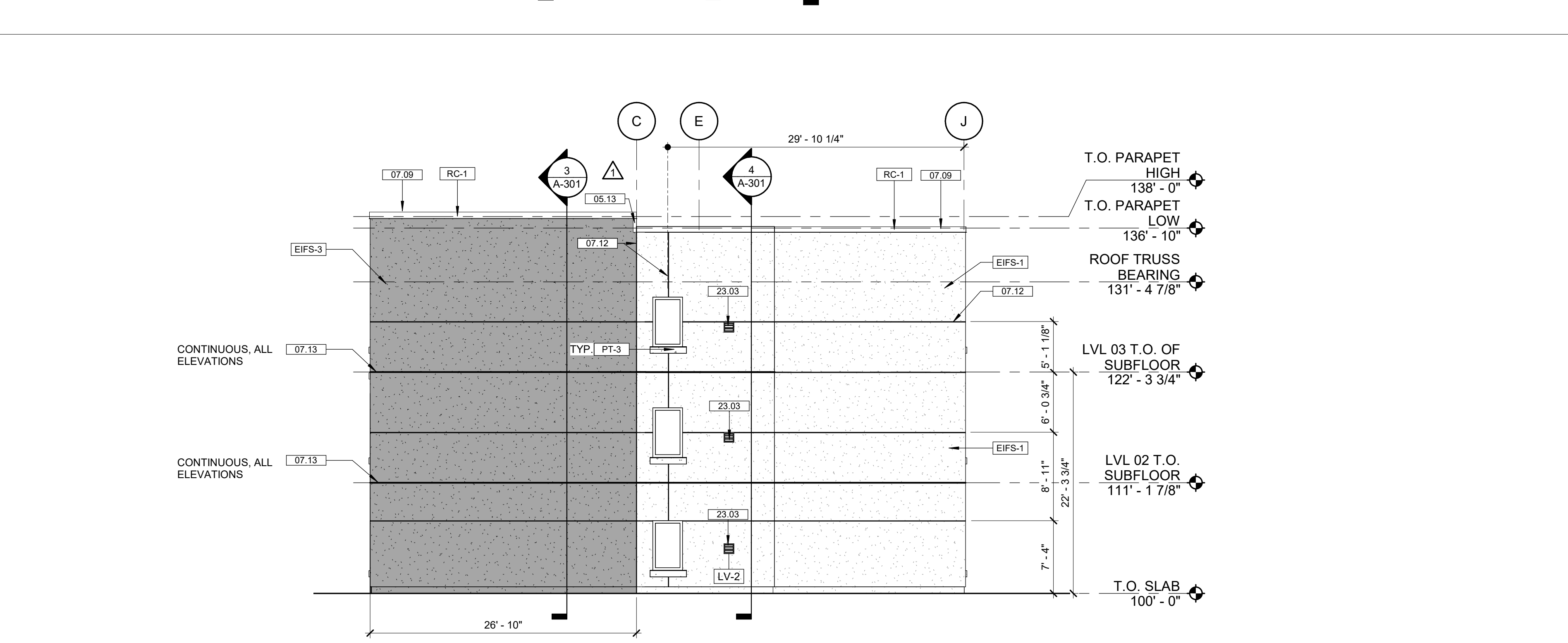
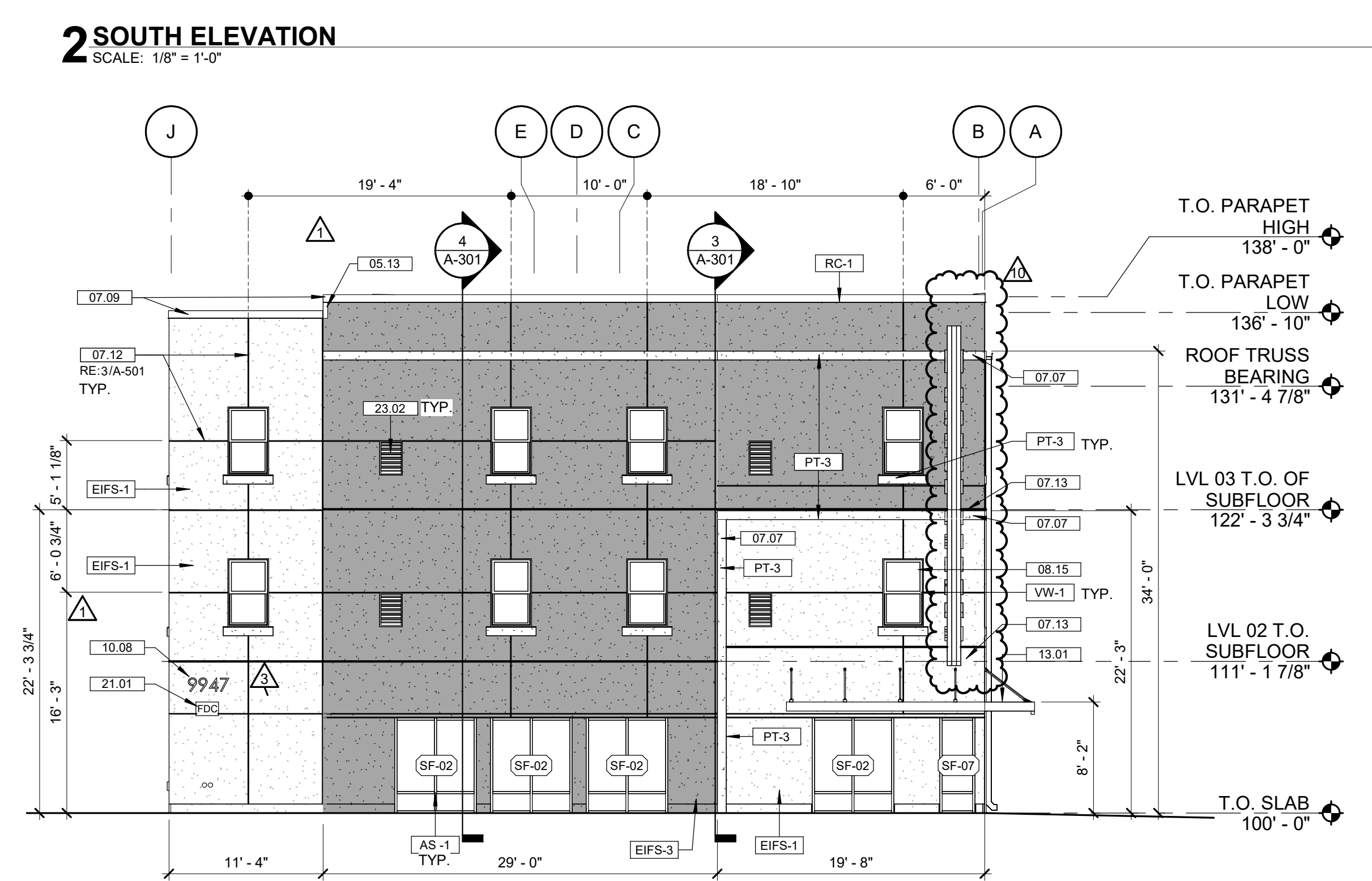
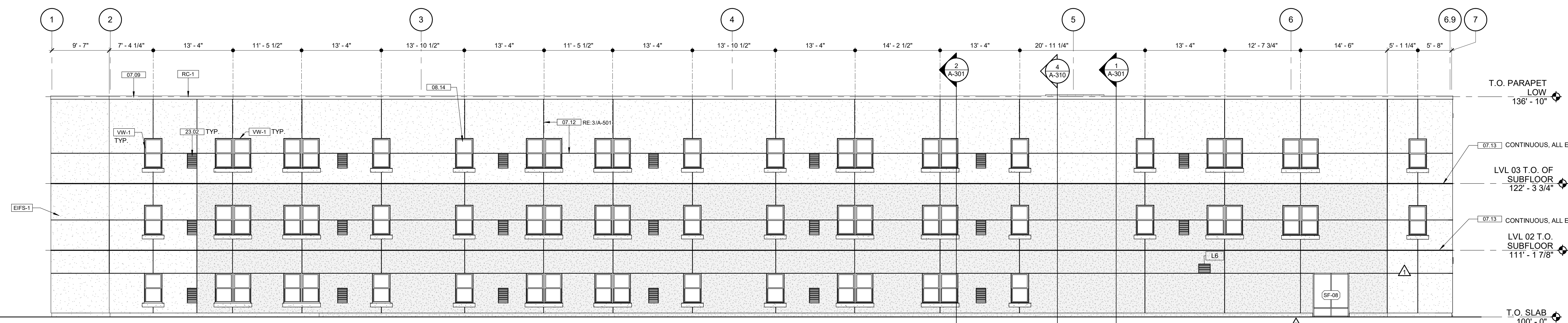
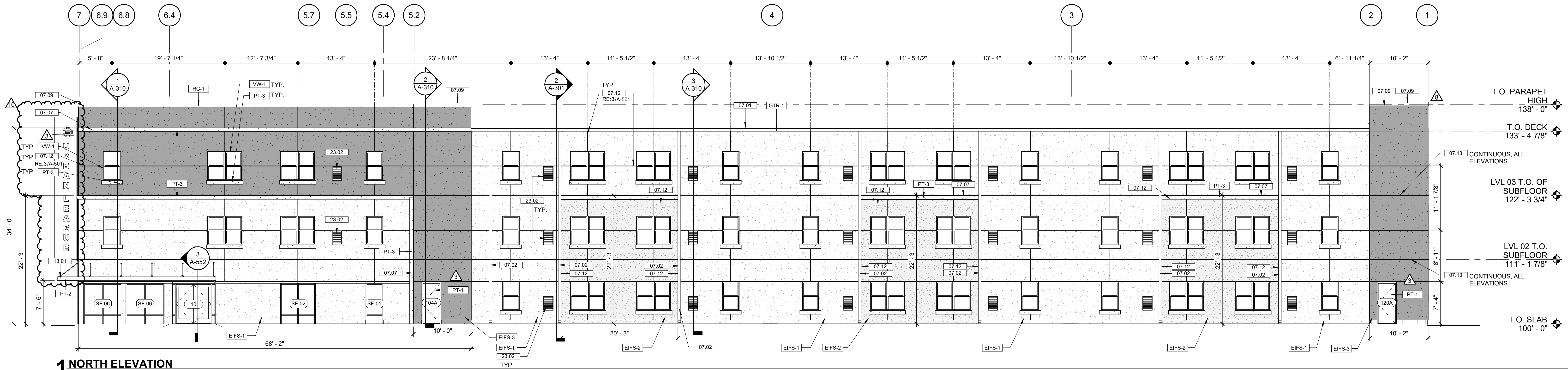
MARK	MANUFACTURER	MODEL
DOWNSPOUT		
DS-1	REFER TO SPECIFICATION	COLOR: WHITE
EXTERIOR - VINYL WINDOWS		
VW-1	REFER TO SPECIFICATION	COLOR: WHITE
EXTERIOR INSULATION FINISH SYSTEM		
EIFS-1	DRYVIT OUTSULATION PLUS MD SYSTEM	TYPE: DRYVIT #386A COLOR: PURE CREAM, QUARZPUTZ
EIFS-2	DRYVIT OUTSULATION PLUS MD SYSTEM	TYPE: DRYVIT #444A COLOR: CARAMEL, QUARZPUTZ
EIFS-3	DRYVIT OUTSULATION PLUS MD SYSTEM	TYPE: DRYVIT #142 COLOR: SPECTRUM BROWN

EXTERIOR MATERIAL LEGEND

MARK	MANUFACTURER	MODEL
EXTERIOR ROOF COPING		
GTR-1	REFER TO SPECIFICATION	COLOR: WHITE
RC-1	REFER TO SPECIFICATION	COLOR: WHITE
PAINT		
PT-1	REFER TO SPECIFICATION	COLOR - PAINT TO MATCH ADJACENT EIFS 3
PT-2	MAPES ARCHITECTURAL CANOPIES	FASCIA: BLACK SOFFIT: WHITE
PT-3	REFER TO SPECIFICATION	TYPE: ELASTOMERIC COLOR: WHITE - MATCH DOWNSPOUTS, GUTTERS, WINDOW FRAMES, COPING

KEYED NOTE LEGEND

KEY	NOTE
05.13	END DAM FLASHING, FINISH TO MATCH COPING.
07.01	PRE-FORMED 6X6 METAL GUTTER INTO 5X6 PRE-FORMED METAL DOWNSPOUTS
07.02	PRE-FINISHED ALUMINUM DOWNSPOUT - OUTLETS TO 36" LONG SPLASH BLOCKS SLOPED AWAY FROM BUILDING, TYPICAL.
07.07	8" EIFS ACCENT BAND
07.09	PRE-FINISHED METAL ROOF COPING AT PARAPET
07.12	3/4" X 3/4" V-GROOVE
07.13	HORIZONTAL EXPANSION JOINT AT EIFS - RE: 4/A-501
08.14	VINYL SINGLE-HUNG WINDOW, TYP.
08.15	OPERABLE VINYL SINGLE-HUNG WINDOW, TYP.
10.08	ADDRESS IDENTIFICATION TO COMPLY WITH 2015 IBC 501.2. COLOR TO BE SPECIFIED BY ARCHITECT. 12" HIGH LETTERS
13.01	HANGER ROD SUPPORTED METAL RAIN CANOPY, SEE SECTION 7/A-551
21.01	FIRE DEPARTMENT CONNECTION, REFER TO PLUMBING. PROVIDE SIGNAGE ABOVE PER NFPA 13
23.02	VTAC LOUVER
23.03	LOUVER, RE: MECHANICAL

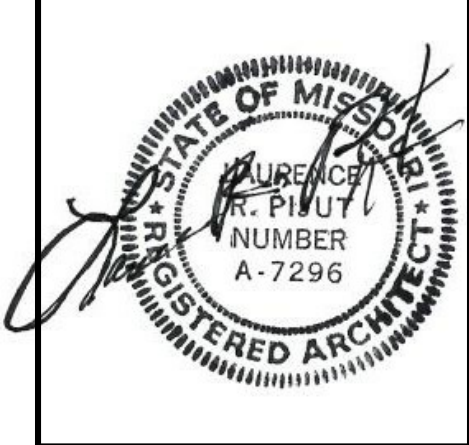




2060 Craigshire Road
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 Missouri State Certificate of Authority 291903937

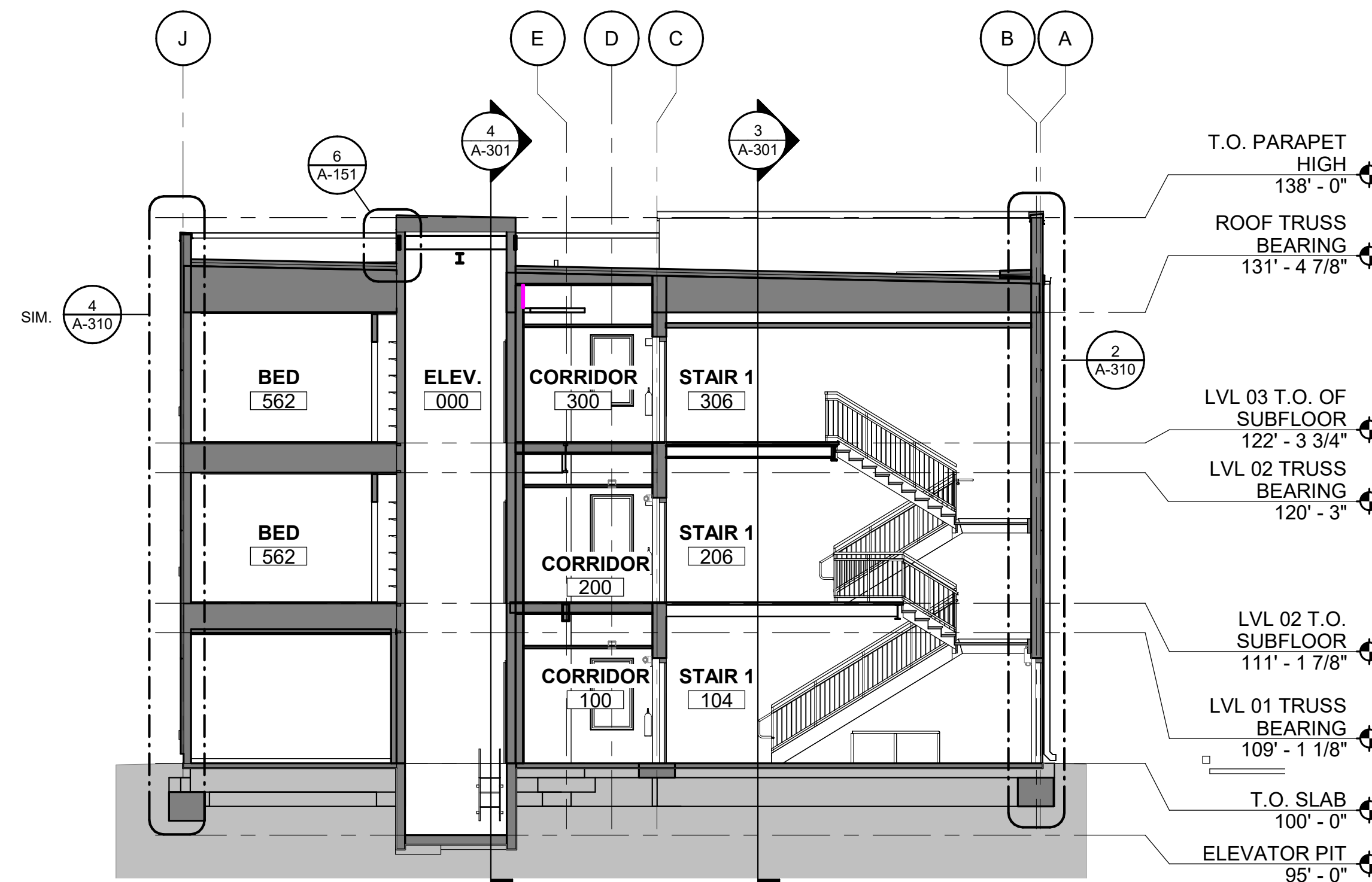
URBAN LEAGUE SENIOR HOUSING, LLC
**URBAN LEAGUE SENIOR HOUSING AT
 DELLWOOD**
 9947 W Florissant Ave., St. Louis, MO 63135
 BID AND PERMIT SET



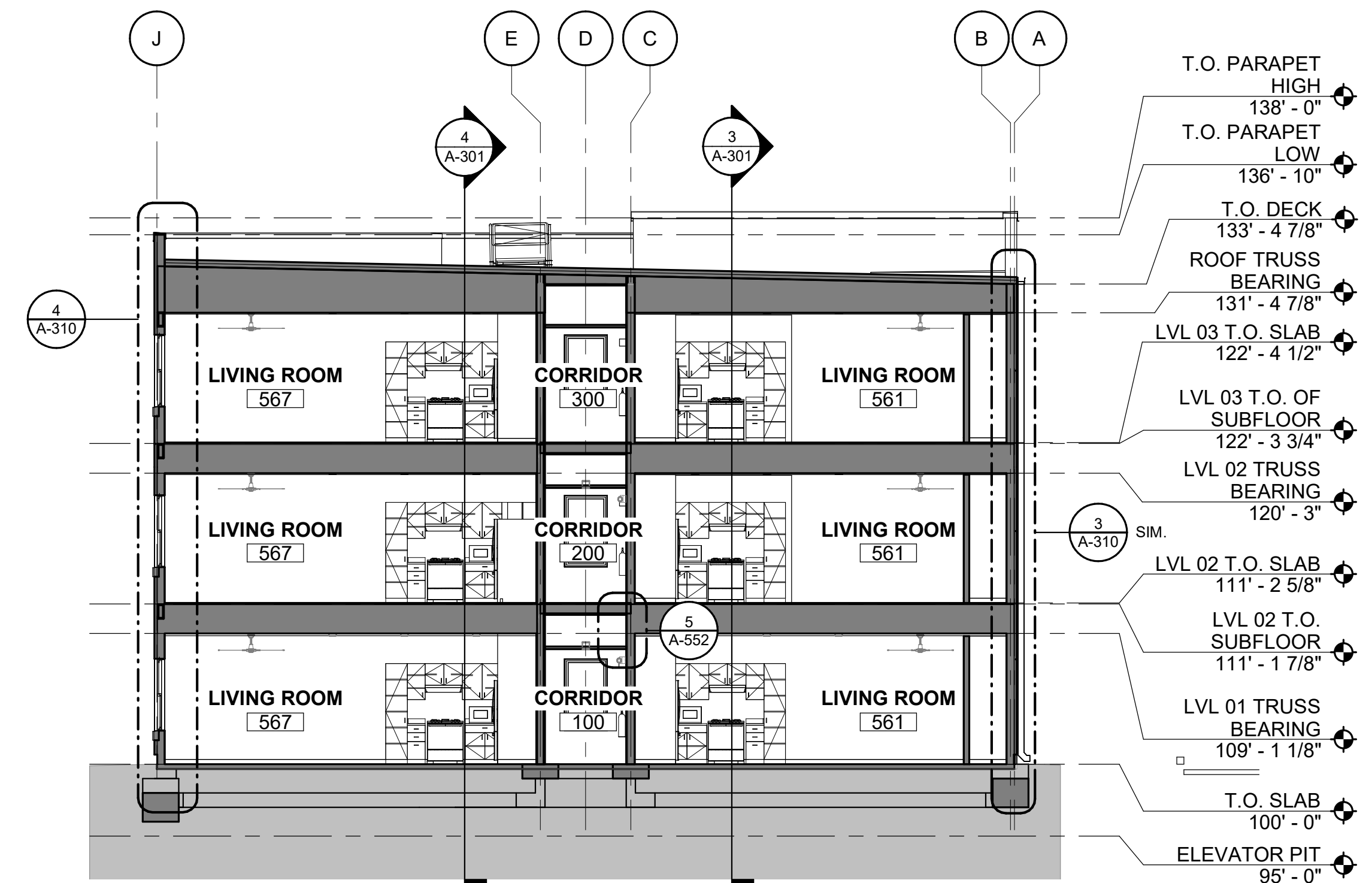
ISSUE MARK	DATE	DESCRIPTION
10	09/28/2023	ASI 08
ISSUE DATE: OCTOBER 1, 2021		
PROJECT NO: 10-19534.03		
MHDC PROJECT NO: #19-090 MT		
DRAWN BY: AJK		
REVIEWED BY: WA		

ORIGINAL SHEET SIZE IS 30" x 42"
 SHEET TITLE
BUILDING SECTIONS

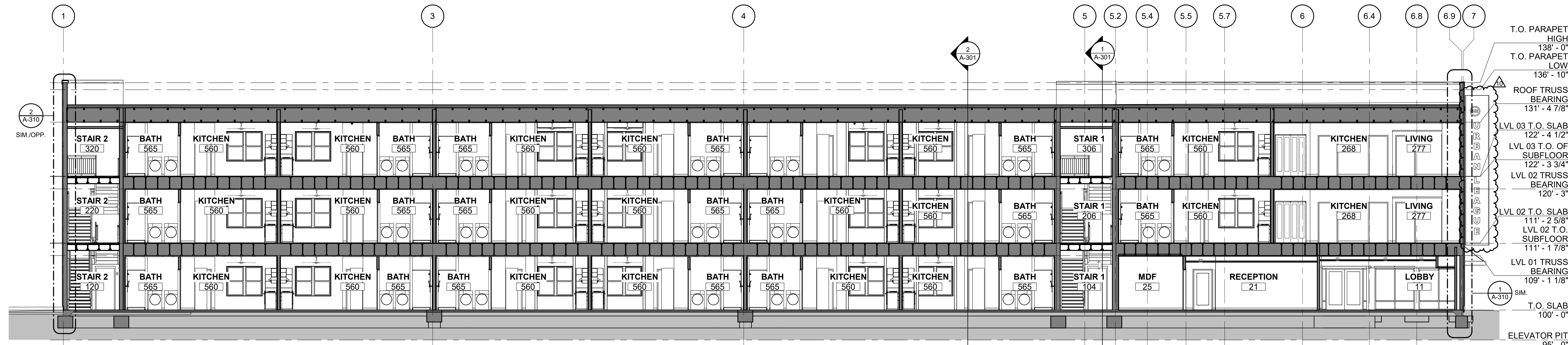
SHEET NO.
A-301



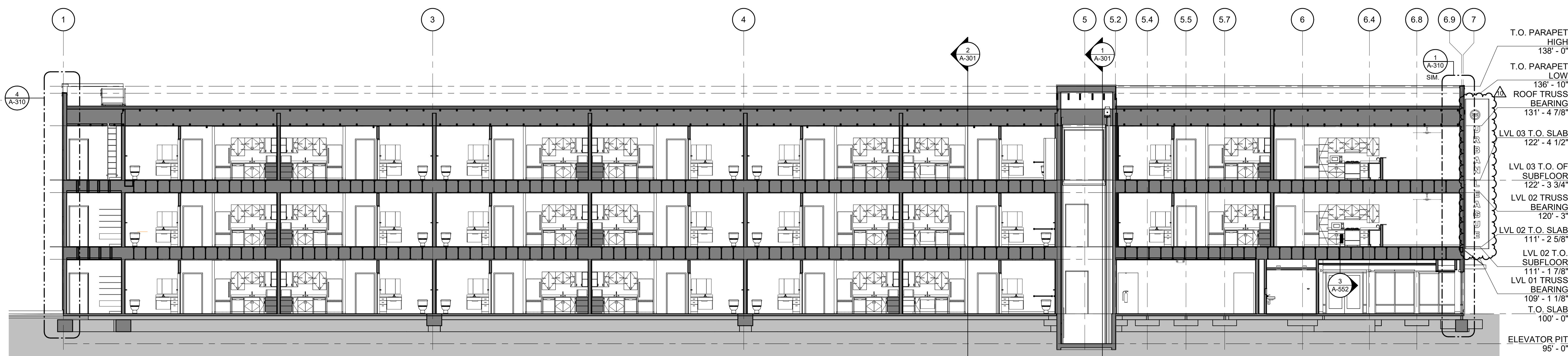
1 OVERALL BUILDING SECTION - N/S
 SCALE: 1/8" = 1'-0"



2 OVERALL BUILDING SECTION - N/S
 SCALE: 1/8" = 1'-0"



3 OVERALL BUILDING SECTION - E/W
 SCALE: 1/8" = 1'-0"



4 OVERALL BUILDING SECTION - E/W
 SCALE: 1/8" = 1'-0"





ISSUE	MARK	DATE	DESCRIPTION
10		09/28/2023	ASI 08
ISSUE DATE: SEPTEMBER 28, 2023			
PROJECT NO: 10-19534.03			
MHDC PROJECT NO: #19-090 MT			
DRAWN BY: Author			
REVIEWED BY: WA			

ORIGINAL SHEET SIZE IS 30" x 42"
 SHEET TITLE
**VERTICAL
 SECTION
 DETAILS -
 EXTERIOR SIGN**

